



City of Reedsburg  
134 South Locust Street, P.O. Box 490  
Reedsburg, WI 53959  
Ph. 608-524-6404 Fax. 608-524-8458  
www.reedsburgwi.gov

AMENDED

**JOINT MEETING AGENDA**  
**COMMON COUNCIL, FINANCE COMMITTEE, PLAN COMMISSION, REEDSBURG**  
**INDUSTRIAL & COMMERCIAL DEVELOPMENT COMMISSION**

Reedsburg City Hall  
Tuesday, September 12, 2017  
6:00 PM

**CALL TO ORDER:**

**APPROVAL OF MINUTES:** Plan Commission – August 8, 2017

*The Commission will receive information on non-agenda topics brought before the Commission by members of the public. The Commission will not discuss these topics, and will not take action on any of them at this meeting.*

**PLAN COMMISSION GENERAL BUSINESS:**

1. Consider Conditional Use Permit for a plumbing supply storage business for use in the existing onsite garage. – 340 S Albert Ave; parcel #0162 – Andrew Gunther.
2. Consider Condition Use Permit site plan amendment to add a 50' X 104' storage building to Casa de Oakes. – 1130 Bindl Dr; parcel #2564 – Knull Properties Inc/David & Rebecca Knull.
3. Consider Certified Survey Map CSM) to divide parcel into two. – Corner of Enterprise Dr and Fuhrman Dr; parcel #2093-32020 – City of Reedsburg.
4. Consider Site Plan Review to construct a 98,027 square foot freezer warehouse building. – Corner of Enterprise Dr. and Fuhrman Dr; parcel #2093-32020 – Sharratt Warehousing & Distribution LLC.
5. Consider ground sign at Viking Drive Estates apartments, 1701 Cottontail Ln.

**JOINT AGENCY GENERAL BUSINESS:**

1. Consider Closed Session per sec. 19.85(1)(e), Stats., conducting specified public business requiring a closed session for deliberating or negotiating the purchasing of public properties, the investing of public funds, or conducting other specified public business, whenever competitive or bargaining reasons require a closed session.
2. Reconvene into Open Session.

**Reedsburg Industrial and Commercial Commission**

- a. Approve/Deny a recommendation Memorandum of Understanding for Sharratt Warehouse & Development LLC.

**Finance Committee**

- a. Approve/Deny a recommendation Memorandum of Understanding for Sharratt Warehouse & Development LLC.



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### **Common Council**

- a. Approve/Deny Memorandum of Understanding with Sharratt Warehousing & Distribution LLC.
- b. Approve/Deny Certified Survey Map for Sharratt Warehouse & Distribution LLC.
- c. Approve/Deny Transfer of land for Sharratt Warehouse & Distribution LLC Project  
(Final City Resolution will be a part of Development Agreement)

### **ADJOURN**

Date: September 8, 2017

*Notice is hereby given that a majority of the members of the Common Council may attend this meeting to gather information about a subject over which the Common Council has decision-making responsibility. If a quorum of the Common Council attends this meeting, no action will be taken by the Common Council at this meeting.*

*Any person who has a qualifying disability as defined by the American With Disabilities Act that requires the meeting or materials at the meeting to be in an accessible location or format must contact the City Clerk at 524-6404, 134 S. Locust Street, Reedsburg, WI at least 48 hours prior to the commencement of the meeting so that any necessary arrangements can be made to accommodate each request.*

**Reedsburg Plan Commission**  
**August 8, 2017**



Alder Jim Heuer called the meeting of the Reedsburg Plan Commission to order at 6:00 p.m. in Reedsburg City Hall.

**Present:** Jim Schulenburg, Josh Bernien, Charlie Backeberg & Steve Zibell

**Absent:** Mayor Dave Estes & Alder Dave Knudsen

**Staff:** Brian Duvalle

**Approval of Minutes:** Motion by Backeberg, seconded by Schulenburg to approve the 7/11/17 minutes.  
Motion approved

**Consider Certified Survey Map to divide existing parcel into two parcels. – E6086 Friske Rd; parcel #030-0104 – Blakeslee Land Surveying.**

Discussion was held on the future driveways, which the County will handle. The Town and ET recommend approval.

Motion by Backeberg, seconded by Heuer to recommend approval of the CSM as presented.  
Motion approved

**Consider Resolution 4293-27 to abandon the public way (alley) between Parcels: 1016 and 1017 on S. Walnut Street – Walnut Street Flats Apartments.**

Discussion was held on the existing sewer in the alley, but the new developer may continue to use it too.

Motion by Backeberg, seconded by Zibell to recommend approval as presented.  
Motion approved

**Consider recommendation for economic development agreement with GRAEF.**

Discussion was held on planning for the other gateways too, but those should come in future years. TIF funding applies to the south and east areas for now.

Motion by Heuer, seconded by Schulenburg to recommend approval of the agreement as presented.  
Motion approved

**Discuss zoning updates.**

1. Fences – discussion was held on which side to face out, setbacks, and business zone fencing. Duvalle will study and report back.
2. Rezoning – the City will initiate a request next month for 122 W Main St. This property now has two zones after joining with part of 140 Eagle St.
3. Platting – discussion was held on possible future re-platting of the downtown, where upper floors could be sold separately from first floors.
4. CUP – Duvalle stated that there will be a CUP request in Sept for a plumbing supply business on S Albert Ave in a B-3 zone.

Motion by Backeberg, seconded by Bernien to adjourn at 6:40.  
Motion approved

Respectfully submitted,

Brian Duvalle  
Planner/Building Inspector

**City of Reedsburg - Plan Commission**  
**Staff Report**

**DATE OF MEETING:** 9/12/17

**APPLICANT:** Andrew Gunther

**LOCATION:** 340 S Albert Ave; parcel #0162

**ZONING:** B-3 Business

**PROPOSED LAND USE CHANGE:** Conditional Use Permit

**DESCRIPTION OF PROPERTY/IMPROVEMENTS:** Consider Conditional Use Permit for a plumbing supply storage business for use in the existing onsite garage.

**General Findings**

**SURROUNDING LAND USES:**

- North – Residential
- West – Residential
- South – Business
- East – Vacant

**ZONING:**

- North – R-1 and B-3
- West – R-1
- South – B-2
- East – Conservancy

**TOPOGRAPHY:**

**STREET R.O.W./TRAFFIC/ACCESS:** 115 – 160' ROW, S Albert Ave

**ENVIRONMENTAL HAZARDS/CONDITIONS:** None known

**COMPREHENSIVE PLAN DESIGNATION:** Residential w/local commercial

Site Plan Review Findings of Fact for Section 17.14(5)(A-F)

The site plan shall be designed so that there is a limited amount of change in the overall natural contours of the site and shall minimize reshaping in favor of designing the project to respect existing features of the site in relation to topography, the size and type of the lot, the character of adjoining property, the minimization of tree and soil removal and the type and size of buildings. The site shall be developed so as not to impede the normal and orderly development or improvement of surrounding property for uses permitted in this Ordinance.

1. The Board finds that the existing parcel contains an existing detached garage.
2. The Board finds that a plumbing supply storage business is proposed.
3. The Board finds that section 17.12 Schedule 2 permits hardware stores as conditional uses.
4. The Board finds that the parcel is zoned B-3 Business.
5. The Board finds that the garage is 24' X 30'.

Special attention shall be given to proper site drainage so that removal of storm waters will not adversely affect neighboring properties.

1. N/A

All buildings or groups of buildings should be so arranged as to permit emergency vehicle access by some practical means.

1. The Board finds that there is an existing driveway on S Albert Ave

Exterior lighting shall be arranged as follows:

1. It is deflected away from adjacent properties.
  2. It does not impede the vision of traffic along adjacent streets.
  3. It does not unnecessarily illuminate night skies.
1. The Board finds that the plans do not indicate exterior lighting.

The arrangement of public or common ways for vehicular and pedestrian circulation shall respect the pattern of existing or planned streets and pedestrian or bicycle pathways in the area. Streets and drives which are part of an existing or planned street pattern which serves adjacent development shall be of a width appropriate to the traffic volume they will carry.

1. N/A

Site plans shall conform to all applicable requirements of City, State and Federal statutes and the City of Reedsburg Comprehensive Plan, and approval may be conditioned on the applicant receiving necessary City, State and Federal permits.

1. The Board finds that the future use map indicates Residential w/ local commercial.

**Conditional Use Permit Findings of Fact for Section 17.13(1)(A-F)**

**Proposed operation** - No Conditional Use shall be approved by the Plan Commission unless it finds that the use for which such permit is sought will not be injurious to the neighborhood or otherwise detrimental to the public welfare and will be in harmony with the general purpose of this ordinance and will not place demands on fire, police, or other public resources in excess of current capacity.

1. The Board finds that the existing parcel contains an existing detached garage.
2. The Board finds that a plumbing supply storage business is proposed.
3. The Board finds that section 17.12 Schedule 2 permits hardware stores as conditional uses.
4. The Board finds that the parcel is zoned B-3 Business.
5. The Board finds that the garage is 24' X 30'.
6. The Board finds that the parcel owner also owns the adjacent house to the north.

**Architectural plans; existing and proposed structures** - The proposed conditional land use shall be designed, constructed, operated, and maintained so as not to diminish the opportunity for surrounding properties to be used and developed as zoned.

1. The Board finds that the garage is 24' X 30'.

**Character and use of adjoining buildings and those in the vicinity** - The proposed conditional land use shall not involve uses, activities, processes, materials, or equipment that would create a substantially negative impact on other conforming properties in the area by reason of traffic, noise, smoke, fumes, glare, and odors.

1. The Board finds that surrounding parcels have mostly residential uses with commercial to the south.
2. The Board finds that the surrounding area is zoned Residential with business north and south along S Albert Ave.

**Traffic generation, circulation and parking areas** - The arrangement of public or common ways for vehicular and pedestrian circulation shall respect the pattern of existing or planned streets and pedestrian or bicycle pathways in the area.

1. The Board finds that the existing parcel contains an existing detached garage.

**Highway access and driveway locations** - The proposed conditional land use shall be adequately served by public or private streets.

1. The Board finds that the property is on S Albert Ave (HWY 23).

**Sewerage and water systems** - The proposed conditional land use will be adequately served by water and sewer facilities, and refuse collection and disposal services.

1. N/A

**COMMENTS**

**POLICE:**

**FIRE:**

**PUBLIC WORKS:**

**UTILITIES:**

**AMBULANCE:**

**ADMINISTRATOR:**

**SCHOOL:**

**STAFF COMMENTS:** The zoning ordinance does not specifically address storage as a use in the B-3 zone. However it does conditionally permit hardware retail, which would have a larger effect on the property and surrounding properties than a storage use while containing similar items.

Therefore the case could be made that this proposed use is allowable with a CUP. But that is something the Plan Commission will need to review and decide. If approved I suggest the following conditions:

1. No employees or customers onsite
2. No signage or at most a single wall sign
3. Expand driveway as needed to allow turn-around of vehicles (to prevent backing into street or backing from street into lot)
4. Specify plumbing supplies only

**Exhibit List**

- A. City of Reedsburg Comprehensive Plan
- B. Zoning Ordinance, City of Reedsburg, Wisconsin
- C. Tuesday, September 12, 2017, Plan Commission Agenda
- D. Land Use Change Application
- E. Staff Report
- F. Request for Review
- G. Notice of Public Meeting

**City of Reedsburg Land Use Application**

134 S. Locust St.  
PO Box 490  
Reedsburg, WI 53959

Ph: 608-524-6404  
Fax: 608-524-8458  
bduvalle@ci.reedsburg.wi.us

**APPLICANT:** Andrew Gunther

**ADDRESS:** 27 Jaz Cir. **CITY:** Reedsburg **STATE:** WI

**ZIP:** 53959 **PHONE:** 414-531-9845 **FAX:** \_\_\_\_\_

**E-MAIL:** DrewZR2@yahoo.com

**PROPERTY OWNER:** (if different from Applicant) Kelley Budnik

**LOCATION:** 340 S. Albert Ave **PARCEL #:** 0162

**LAND USE REQUEST**

(Please describe one or more as applicable – attach extra pages/maps if necessary)

**Certified Survey Map (CSM):** \_\_\_\_\_

**Conditional Use Permit:** \_\_\_\_\_

For *CONDITIONAL USE PERMIT* requests, also answer "A & B" on back page.

**Preliminary Plat:** \_\_\_\_\_ **Final Plat:** \_\_\_\_\_ **Name of Plat:** \_\_\_\_\_

**Rezoning - From:** \_\_\_\_\_ **To:** \_\_\_\_\_

**Site Plan Review:** (See "B" on back page) \_\_\_\_\_

**Zoning Appeal / Interpretation:** \_\_\_\_\_

**Zoning Variance:** \_\_\_\_\_

For *VARIANCE* requests, also answer "C" on back page.

**Other:** \_\_\_\_\_

**AFFIDAVIT**

I certify that the information and plans submitted are true and accurate to the best of my knowledge. I also give permission to City zoning officials to enter my property for inspection purposes.

Andrew Gunther, 7-31-17

**Applicant Signature / Date**

Kelley Budnik, 08-07-17

**Owner Signature / Date**

Extraterritorial Committee Date: \_\_\_\_\_

Plan Commission Date: \_\_\_\_\_

Board of Zoning Appeals Date: \_\_\_\_\_

City Council Action & Date: \_\_\_\_\_

Account #10-461500-00

**The applicant or representative MUST ATTEND the meeting.**

Conditional Use \$153	_____
Cond. Use-Agriculture \$400	_____
Variance \$112	_____
Zone Change \$200	_____
C.S.M. \$171	_____
Subdivision Plat \$610	_____
- w/ Stormwater Plan \$100	_____
Flood Plain Zone \$189	_____
Mapping Fee \$61/parcel in plat	_____
Comp Plan Amend \$200	_____
Date Paid	_____
Receipt #	_____

*W*

*8-8-17*







# City of Reedsburg - Plan Commission **Staff Report**

**DATE OF MEETING:** 9/12/17

**APPLICANT:** Knull Properties Inc/David & Rebecca Knull

**LOCATION:** 1130 Bindl Dr; parcel #2564

**ZONING:** B-2 Business

**PROPOSED LAND USE CHANGE:** Conditional Use Permit (amended site plan)

**DESCRIPTION OF PROPERTY/IMPROVEMENTS:** Consider Condition Use Permit site plan amendment to add a 50' X 104' storage building to Casa de Oakes.

## General Findings

**SURROUNDING LAND USES:**

- North – Commercial
- West – RAHS
- South – Ag
- East – Residential

**ZONING:**

- North – B-2
- West – G
- South – A
- East – R-2 and A

**TOPOGRAPHY:**

**STREET R.O.W./TRAFFIC/ACCESS:** 66' ROW, Access from Bindl Dr

**ENVIRONMENTAL HAZARDS/CONDITIONS:**

**COMPREHENSIVE PLAN DESIGNATION:** Commercial

**Site Plan Review Findings of Fact for Section 17.14(5)(A-F)**

The site plan shall be designed so that there is a limited amount of change in the overall natural contours of the site and shall minimize reshaping in favor of designing the project to respect existing features of the site in relation to topography, the size and type of the lot, the character of adjoining property, the minimization of tree and soil removal and the type and size of buildings. The site shall be developed so as not to impede the normal and orderly development or improvement of surrounding property for uses permitted in this Ordinance.

1. The Board finds that the existing parcel contains an existing CBRF.
2. The Board finds that an accessory storage building is proposed.
3. The Board finds that a CBRF is conditional under section 17.13(2)(I) of the zoning ordinance.
4. The Board finds that the parcel is zoned B-2 Business.
5. The Board finds that the building would be approximately 50' X 104'.

Special attention shall be given to proper site drainage so that removal of storm waters will not adversely affect neighboring properties.

1. The Board finds that stormwater basin is located just to the north of the building site.

All buildings or groups of buildings should be so arranged as to permit emergency vehicle access by some practical means.

1. The Board finds that there is an existing driveway on Bindl Dr.

Exterior lighting shall be arranged as follows:

1. It is deflected away from adjacent properties.
  2. It does not impede the vision of traffic along adjacent streets.
  3. It does not unnecessarily illuminate night skies.
1. The Board finds that the plans do not indicate exterior lighting.

The arrangement of public or common ways for vehicular and pedestrian circulation shall respect the pattern of existing or planned streets and pedestrian or bicycle pathways in the area. Streets and drives which are part of an existing or planned street pattern which serves adjacent development shall be of a width appropriate to the traffic volume they will carry.

1. N/A

Site plans shall conform to all applicable requirements of City, State and Federal statutes and the City of Reedsburg Comprehensive Plan, and approval may be conditioned on the applicant receiving necessary City, State and Federal permits.

1. The Board finds that the future use map indicates Commercial.

**Conditional Use Permit Findings of Fact for Section 17.13(1)(A-F)**

**Proposed operation** - No Conditional Use shall be approved by the Plan Commission unless it finds that the use for which such permit is sought will not be injurious to the neighborhood or otherwise detrimental to the public welfare and will be in harmony with the general purpose of this ordinance and will not place demands on fire, police, or other public resources in excess of current capacity.

1. The Board finds that the existing parcel contains an existing CBRF.
2. The Board finds that an accessory storage building is proposed.
3. The Board finds that a CBRF is conditional under section 17.13(2)(I) of the zoning ordinance.
4. The Board finds that the parcel is zoned B-2 Business.
5. The Board finds that the building would be approximately 50' X 104'.

**Architectural plans; existing and proposed structures** - The proposed conditional land use shall be designed, constructed, operated, and maintained so as not to diminish the opportunity for surrounding properties to be used and developed as zoned.

1. The Board finds that building plans are attached with the application.

**Character and use of adjoining buildings and those in the vicinity** - The proposed conditional land use shall not involve uses, activities, processes, materials, or equipment that would create a substantially negative impact on other conforming properties in the area by reason of traffic, noise, smoke, fumes, glare, and odors.

1. The Board finds that surrounding parcels have both commercial and residential uses.

**Traffic generation, circulation and parking areas** - The arrangement of public or common ways for vehicular and pedestrian circulation shall respect the pattern of existing or planned streets and pedestrian or bicycle pathways in the area.

1. The Board finds that there is an existing driveway on Bindl Dr; no direct access onto HWY 23
2. The Board finds that additional parking will not be needed.

**Highway access and driveway locations** - The proposed conditional land use shall be adequately served by public or private streets.

1. The Board finds that there is an existing driveway on Bindl Dr; no direct access onto HWY 23

**Sewerage and water systems** - The proposed conditional land use will be adequately served by water and sewer facilities, and refuse collection and disposal services.

1. NA

**COMMENTS**

**POLICE:**

**FIRE:**

**PUBLIC WORKS:**

**UTILITIES:**

**AMBULANCE:**

**ADMINISTRATOR:**

**SCHOOL:**

**STAFF COMMENTS:** This building would replace a similar size day care that was originally proposed. If approved, its placement should be outside the highway building setback. Gutters mat be needed to direct stormwater to the adjacent retention basin.

FWIW, when I stopped to look at it onsite, a resident expressed concern it would block his view but didn't want to lodge a formal complaint. Despite the view, this location would require less excavation.

**Exhibit List**

- A. City of Reedsburg Comprehensive Plan
- B. Zoning Ordinance, City of Reedsburg, Wisconsin
- C. Tuesday, September 12, 2017, Plan Commission Agenda
- D. Land Use Change Application
- E. Staff Report
- F. Request for Review
- G. Notice of Public Meeting

**City of Reedsburg Land Use Application**

134 S. Locust St.  
PO Box 490  
Reedsburg, WI 53959

Ph: 608-524-6404  
Fax: 608-524-8458  
bduvalle@ci.reedsburg.wi.us

**APPLICANT:** Knoll Properties, LLC / David & Rebecca Knoll

**ADDRESS:** 1130 Bindl Drive **CITY:** Reedsburg **STATE:** WI

**ZIP:** 53959 **PHONE:** 608-524-9876 **FAX:** 608-524-8527

**E-MAIL:** forrest@casadepakes.com

**PROPERTY OWNER:** (if different from Applicant) \_\_\_\_\_

**LOCATION:** 1130 Bindl Drive **PARCEL #:** 276 2564-0000

**LAND USE REQUEST**

(Please describe one or more as applicable – attach extra pages/maps if necessary)

**Certified Survey Map (CSM):** \_\_\_\_\_

**Conditional Use Permit:** \_\_\_\_\_

For *CONDITIONAL USE PERMIT* requests, also answer "A & B" on back page.

**Preliminary Plat:** \_\_\_\_\_ **Final Plat:** \_\_\_\_\_ **Name of Plat:** \_\_\_\_\_

**Rezoning - From:** \_\_\_\_\_ **To:** \_\_\_\_\_

**Site Plan Review:** (See "B" on back page) \_\_\_\_\_

**Zoning Appeal / Interpretation:** \_\_\_\_\_

**Zoning Variance:** \_\_\_\_\_

For *VARIANCE* requests, also answer "C" on back page.

**Other:** \_\_\_\_\_

**AFFIDAVIT**

I certify that the information and plans submitted are true and accurate to the best of my knowledge. I also give permission to City zoning officials to enter my property for inspection purposes.

Rebecca J Knoll 8-18-17

**Applicant Signature / Date**

Rebecca J Knoll 8-18-17

**Owner Signature / Date**

Extraterritorial Committee Date: \_\_\_\_\_  
Plan Commission Date: \_\_\_\_\_  
Board of Zoning Appeals Date: \_\_\_\_\_  
City Council Action & Date: \_\_\_\_\_

Account #10-461500-00

**The applicant or representative MUST ATTEND the meeting.**

Conditional Use \$153	_____
Cond. Use-Agriculture \$400	_____
Variance \$112	_____
Zone Change \$200	_____
C.S.M. \$171	_____
Subdivision Plat \$610	_____
- w/ Stormwater Plan \$100	_____
Flood Plain Zone \$189	_____
Mapping Fee \$61/parcel in plat	_____
Comp Plan Amend \$200	_____
Date Paid	_____
Receipt #	_____

*RJ ✓  
8-18-17*

This proposal is for construction of a 50' X 100' cold storage building adjacent to the current facility housing Casa de Oakes, Inc. to be completed by December 31, 2017. The building will be used to store vehicles, trailers, lawn/snow removal equipment, etc. owned by Casa de Oakes, Inc. The only utilities will be limited electrical for lights and a small number of electrical outlets. No plumbing or HVAC system is proposed for the building.

The building will be wood frame with a metal exterior and roof. Careful considerations have been given to the color scheme and exterior enhancements so as to give the building a very classy look that blends in well with the existing structure. The interior will have a concrete floor. There will be 3 - 12' overhead doors with windows, 2 walk in doors and 2 - 3' X 4' windows, all located on the north-east side of the building. The remaining sides of the building will have no windows or doors to facilitate added security.

No additional parking or public roads right-of-way would be required. There will be no additional exterior lighting required. The building will use the storm water controls already in place for the Casa de Oakes building. Please see attached documents for architectural plans for the existing and proposed structure.

Cleary Building Corp. out of Verona WI will be the primary contractor for the project. Ray Zobel excavating will be doing the site preparation and Service Electric will be doing the electrical work.





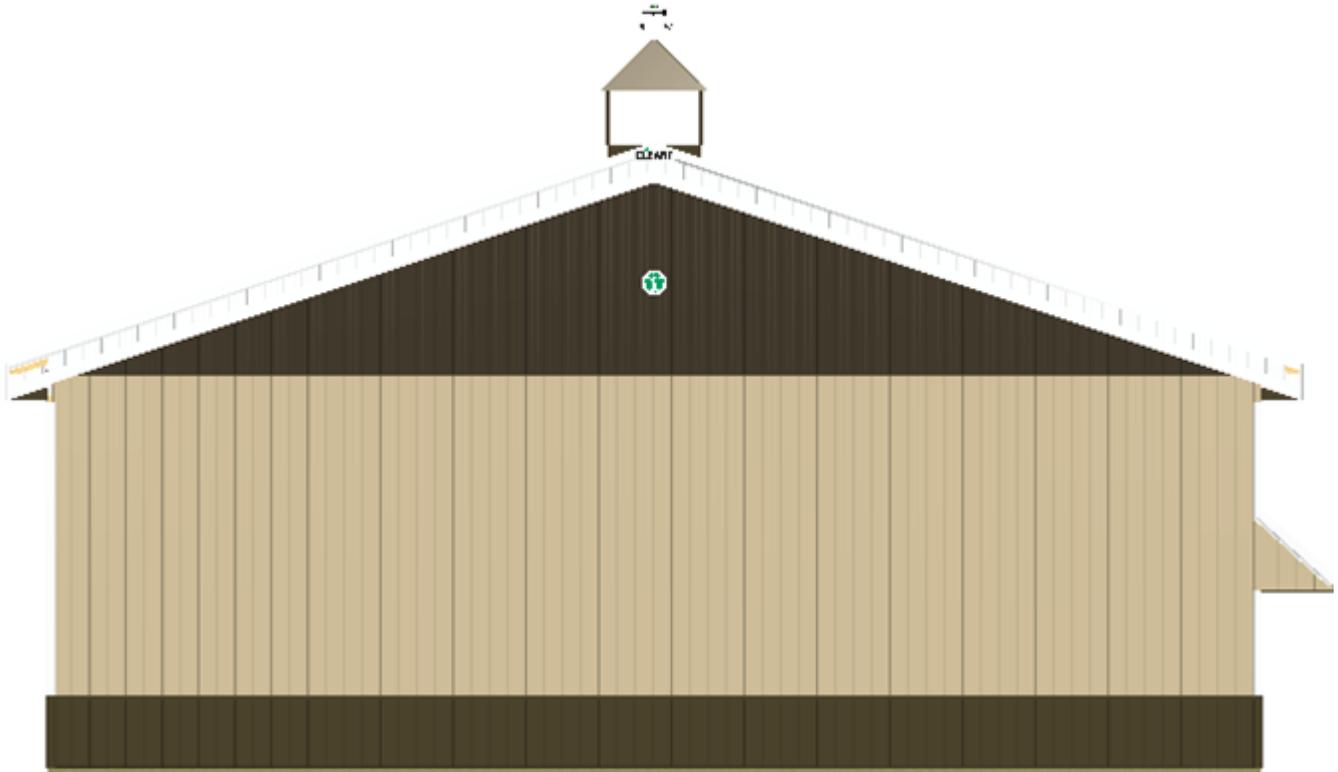


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8/18/2017  
KNULL PROPERTIES LLC  
Doc ID: 7769820170818123848  
Job ID: 2017104777

## Elevations & Floor Plan

### Elevations for Building 1



**South End Wall 1 on Building 1**

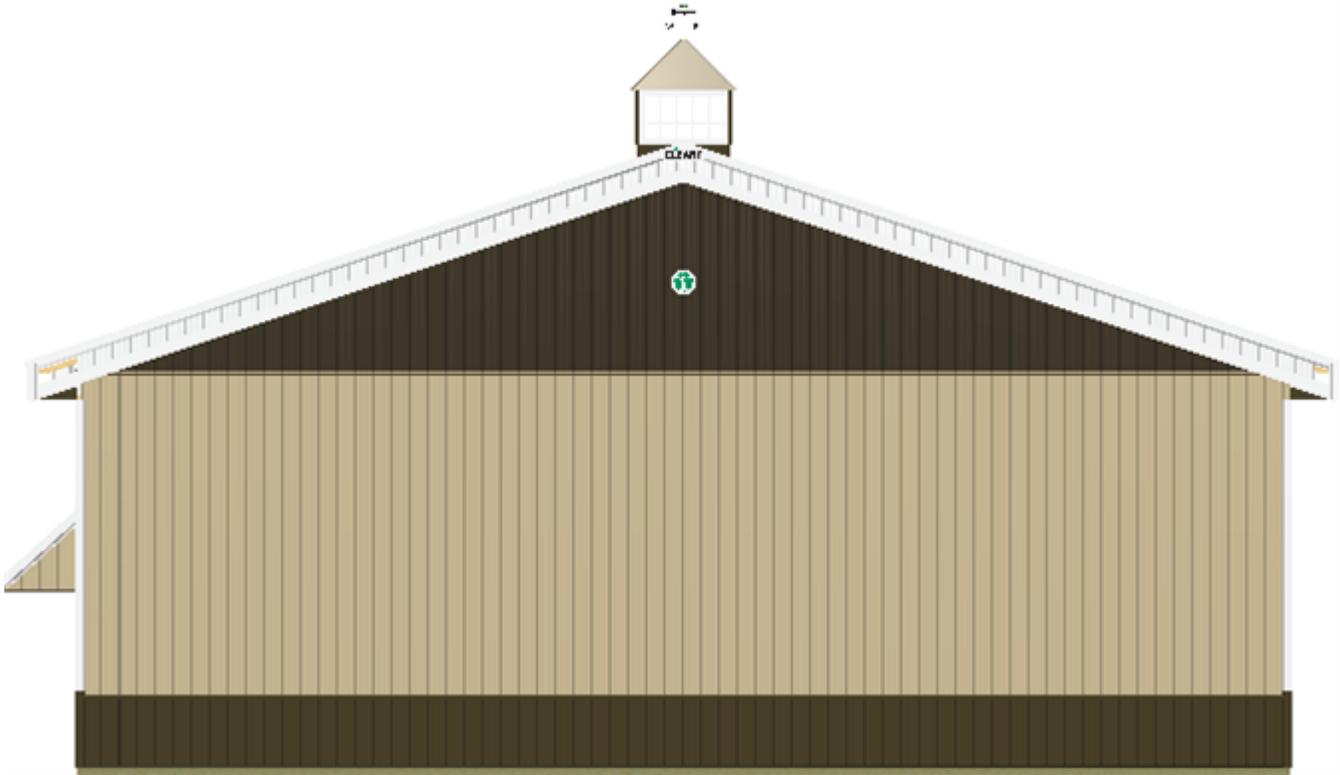
Note: These colors are as close to the actual colors as permitted by printing. Actual metal samples must be reviewed with your Sales Specialist. Colors vary depending upon position and angles.



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KNULL PROPERTIES LLC  
Doc ID: 7769820170818123848  
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## Elevations & Floor Plan



**North End Wall 2 on Building 1**

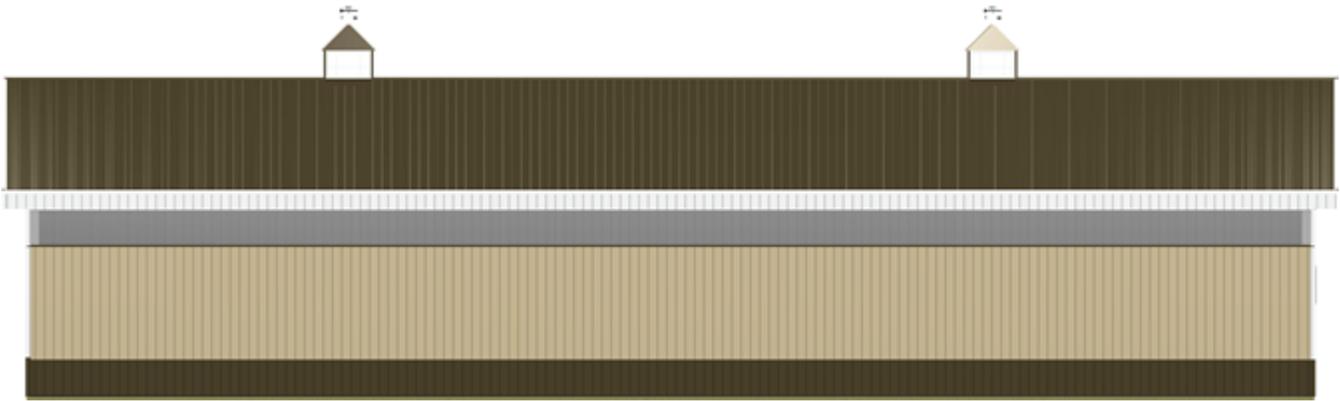
Note: These colors are as close to the actual colors as permitted by printing. Actual metal samples must be reviewed with your Sales Specialist. Colors vary depending upon position and angles.



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8/18/2017  
KNULL PROPERTIES LLC  
Doc ID: 7769820170818123848  
Job ID: 2017104777

## Elevations & Floor Plan



**West Side Wall 1 on Building 1**

Note: These colors are as close to the actual colors as permitted by printing. Actual metal samples must be reviewed with your Sales Specialist. Colors vary depending upon position and angles.

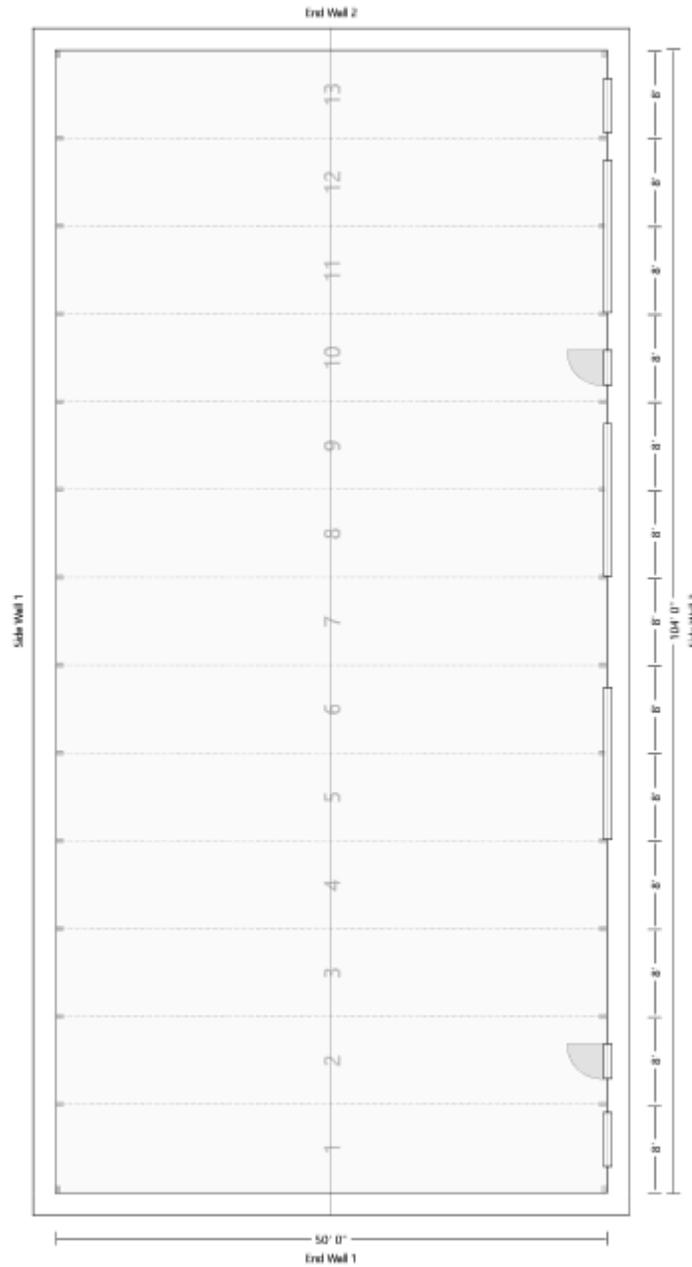


**East Side Wall 2 on Building 1**

Note: These colors are as close to the actual colors as permitted by printing. Actual metal samples must be reviewed with your Sales Specialist. Colors vary depending upon position and angles.

## Elevations & Floor Plan

### Floor Plan



**City of Reedsburg - Plan Commission**  
**Staff Report**

**DATE OF MEETING(S):** Plan Commission - 9/12/17  
City Council – 9/25/17 – 7PM (Certified Survey Map only)

**APPLICANT:** City of Reedsburg (CSM) & Sharratt Warehousing & Distribution LLC (SPR)

**LOCATION:** Corner of Enterprise Dr and Fuhrman Dr; parcel #2093-32020

**ZONING:** I-2 Heavy Industrial

**PROPOSED LAND USE REQUEST:** Certified Survey Map (CSM) & Site Plan Review (SPR)

**DESCRIPTION OF PROPERTY/IMPROVEMENTS:** Consider CSM and SPR to divide the parcel into two and construct a 98,027 square foot freezer warehouse building.

**General Findings**

**SURROUNDING LAND USES:**

- North – Industrial
- West – Vacant
- South – Ag, Vacant
- East – Vacant, Airport

**ZONING:**

- North – I-2
- West – I-2
- South – Ag
- East – I-2, Ag

**TOPOGRAPHY:** Flat slopes

**STREET R.O.W./TRAFFIC/ACCESS:** 66' ROW, Corner of Enterprise Dr & Fuhrman Dr

**ENVIRONMENTAL HAZARDS/CONDITIONS:** Floodplain

**COMPREHENSIVE PLAN DESIGNATION:** Industrial

**Site Plan Review Findings of Fact for Section 17.14(5)(A-F)**

**The site plan shall be designed so that there is a limited amount of change in the overall natural contours of the site and shall minimize reshaping in favor of designing the project to respect existing features of the site in relation to topography, the size and type of the lot, the character of adjoining property, the minimization of tree and soil removal and the type and size of buildings. The site shall be developed so as not to impede the normal and orderly development or improvement of surrounding property for uses permitted in this Ordinance.**

1. The Board finds that the existing parcel is vacant.
2. The Board finds that a 98,027 square foot freezer warehouse building is proposed.
3. The Board finds that section 17.12 Schedule 3 permits warehousing.
4. The Board finds that the parcel is zoned I-2 Heavy Industrial.
5. The Board finds that the new parcel would be 14.92 acres.
6. The Board finds that 25 parking spaces are proposed; section 17.31 requires 1 space per 2 employees.
7. The Board finds that the building would be about 43' high; the airport map indicates a ground level of 888' and a height limit of 940'.

**Special attention shall be given to proper site drainage so that removal of storm waters will not adversely affect neighboring properties.**

1. The Board finds that stormwater ponds will be placed to the north and south of the building.

**All buildings or groups of buildings should be so arranged as to permit emergency vehicle access by some practical means.**

1. The Board finds that there will be driveways from Fuhrman Dr.
2. The Board finds that parts of Fuhrman Dr are in the 1%-chance flood zone.

**Exterior lighting shall be arranged as follows:**

- 1. It is deflected away from adjacent properties.**
- 2. It does not impede the vision of traffic along adjacent streets.**
- 3. It does not unnecessarily illuminate night skies.**
1. The Board finds that the plans do not indicate exterior lighting but will be required at exit doors.
2. The Board finds that this standard shall be met.

**The arrangement of public or common ways for vehicular and pedestrian circulation shall respect the pattern of existing or planned streets and pedestrian or bicycle pathways in the area. Streets and drives which are part of an existing or planned street pattern which serves adjacent development shall be of a width appropriate to the traffic volume they will carry.**

1. N/A

**Site plans shall conform to all applicable requirements of City, State and Federal statutes and the City of Reedsburg Comprehensive Plan, and approval may be conditioned on the applicant receiving necessary City, State and Federal permits.**

1. The Board finds that the future use map indicates Industrial.

**COMMENTS**

**POLICE:**

**FIRE:**

**PUBLIC WORKS:**

**UTILITIES:** There are three water services to the lot. RUC will require that any service not to be used, be disconnected.

**AMBULANCE:**

**ADMINISTRATOR:**

**SCHOOL:**

**STAFF COMMENTS:** As of this writing:

1. I am attempting to verify with the DNR that there is no problem with placing any fill along the west lot line. There is some floodplain and flood storage area there according to the FIRM.
2. We may need verification that Ambulance and FD can access the lot during a flood event. Parts of S Dewey and Fuhrman Dr appear to be in the floodplain per the FIRM.
3. Verify DNR stormwater permit has been or will be obtained by the applicant.

**Exhibit List**

- A. City of Reedsburg Comprehensive Plan
- B. Zoning Ordinance, City of Reedsburg, Wisconsin
- C. Tuesday, September 12, 2017, Plan Commission Agenda
- D. Land Use Change Application
- E. Staff Report
- F. Request for Review
- G. Notice of Public Meeting

**City of Reedsburg Land Use Application**

134 S. Locust St.  
PO Box 490  
Reedsburg, WI 53959

Ph: 608-524-6404  
Fax: 608-524-8458  
bduvalle@ci.reedsburg.wi.us

**APPLICANT:** SHARRITT WAREHOUSING & DISTRIBUTION, LLC

**ADDRESS:** 1301 ENTERPRISE DR. **CITY:** REEDSBURG **STATE:** WI

**ZIP:** 53959 **PHONE:** 920 650 8187 **FAX:** \_\_\_\_\_

**E-MAIL:** SHARRITWHSE.DISTRIBUTIONLLC@GMAIL.COM

**PROPERTY OWNER:** (if different from Applicant) \_\_\_\_\_

**LOCATION:** FUHLMAN & ENTERPRISE DRIVE **PARCEL #:** PORTION OF 276-2093-32020

**LAND USE CHANGE REQUESTED**

(Please describe one or more as applicable – attach extra pages/maps if necessary)

- Conditional Use Permit:** CONSTRUCTION OF COOL STORAGE WAREHOUSE & DISTRIBUTION  
For *CONDITIONAL USE PERMIT* requests, also answer "A" on the opposite side.
- Zoning Variance:** \_\_\_\_\_  
For *VARIANCE* requests, also answer "B" on the opposite side.
- Zone Change (Rezoning) - From:** \_\_\_\_\_ **To:** \_\_\_\_\_
- Certified Survey Map (C.S.M.):** \_\_\_\_\_
- Preliminary Plat:** \_\_\_\_\_ **Final Plat:** \_\_\_\_\_ **Name of Plat:** \_\_\_\_\_
- Flood Plain Zone Change: From:** \_\_\_\_\_ **To:** \_\_\_\_\_
- Comprehensive Plan Amendment:** \_\_\_\_\_
- Other:** \_\_\_\_\_

**AFFIDAVIT**

I certify that the information and plans submitted are true and accurate to the best of my knowledge. I also give permission to City zoning officials to enter my property for inspection purposes.

*Sharritt* 08-30-2017

**Applicant Signature / Date**

\_\_\_\_\_ / \_\_\_\_\_

**Owner Signature / Date**

Extraterritorial Committee Date: \_\_\_\_\_  
Plan Commission Date: \_\_\_\_\_  
Board of Zoning Appeals Date: \_\_\_\_\_  
City Council Action & Date: \_\_\_\_\_

Account #10-461500-00

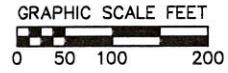
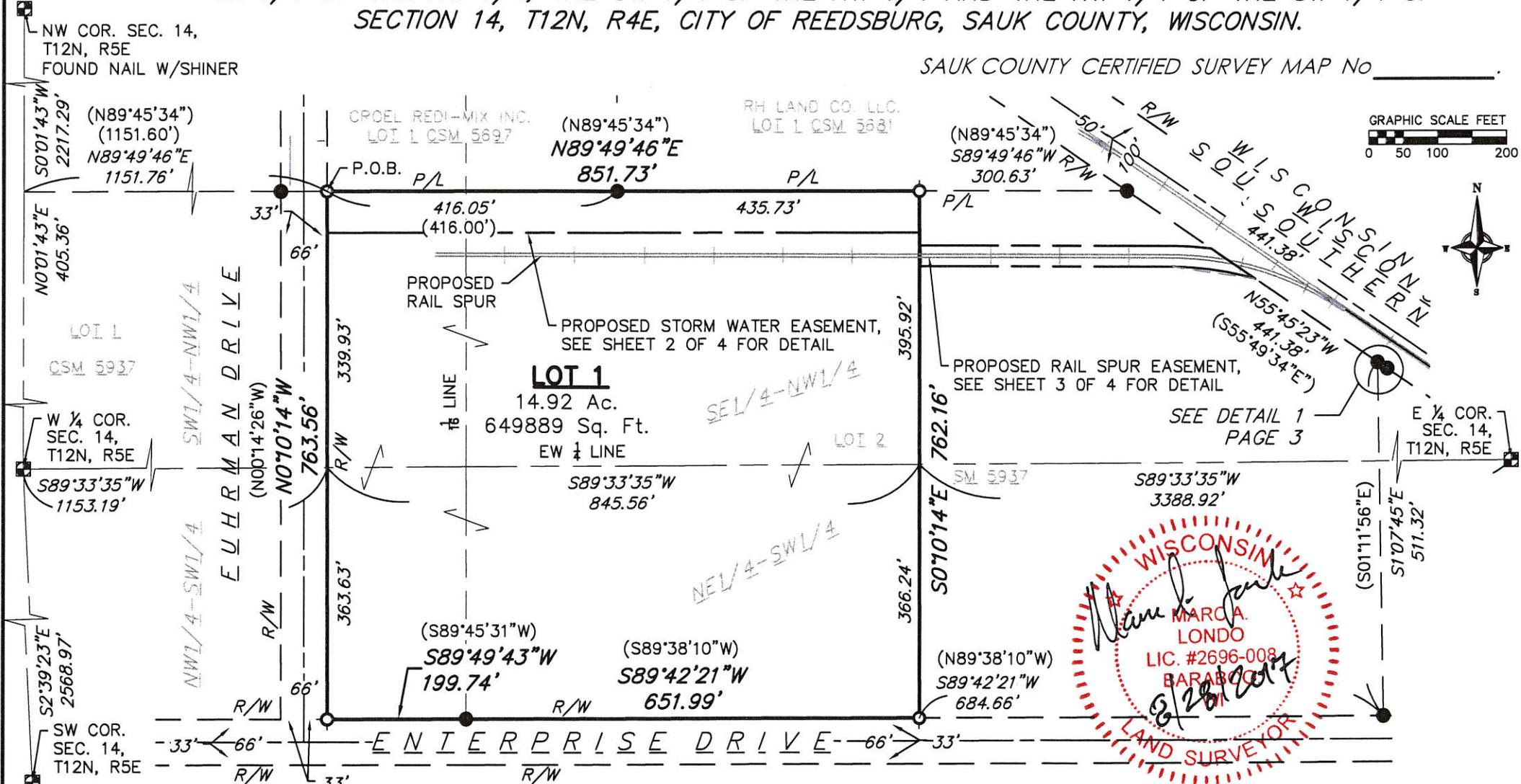
**The applicant or representative MUST ATTEND the meeting.**

Conditional Use \$153	<u>153</u>
Cond. Use-Agriculture \$400	_____
Variance \$112	_____
Zone Change \$200	_____
C.S.M. \$171	_____
Subdivision Plat \$610	_____
- w/ Stormwater Plan \$100	_____
Flood Plain Zone \$189	_____
Mapping Fee \$61/parcel in C.S.M./plat	_____
Comp Plan Amend \$200	_____
Date Paid	_____
Receipt #	_____

*DD ✓ 8/30/17*

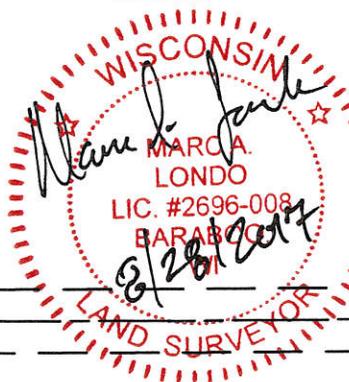
RE-PLAT OF LOT 2 OF SAUK COUNTY CERTIFIED SURVEY MAP 5937, RECORDED IN VOL. 34 OF CSMs PG. 5937, AS DOC. 1012425 AND LOCATED IN THE NE 1/4 OF THE SW 1/4, THE SE 1/4 OF THE NW 1/4, THE SW 1/4 OF THE NW 1/4 AND THE NW 1/4 OF THE SW 1/4 OF SECTION 14, T12N, R4E, CITY OF REEDSBURG, SAUK COUNTY, WISCONSIN.

SAUK COUNTY CERTIFIED SURVEY MAP No \_\_\_\_\_



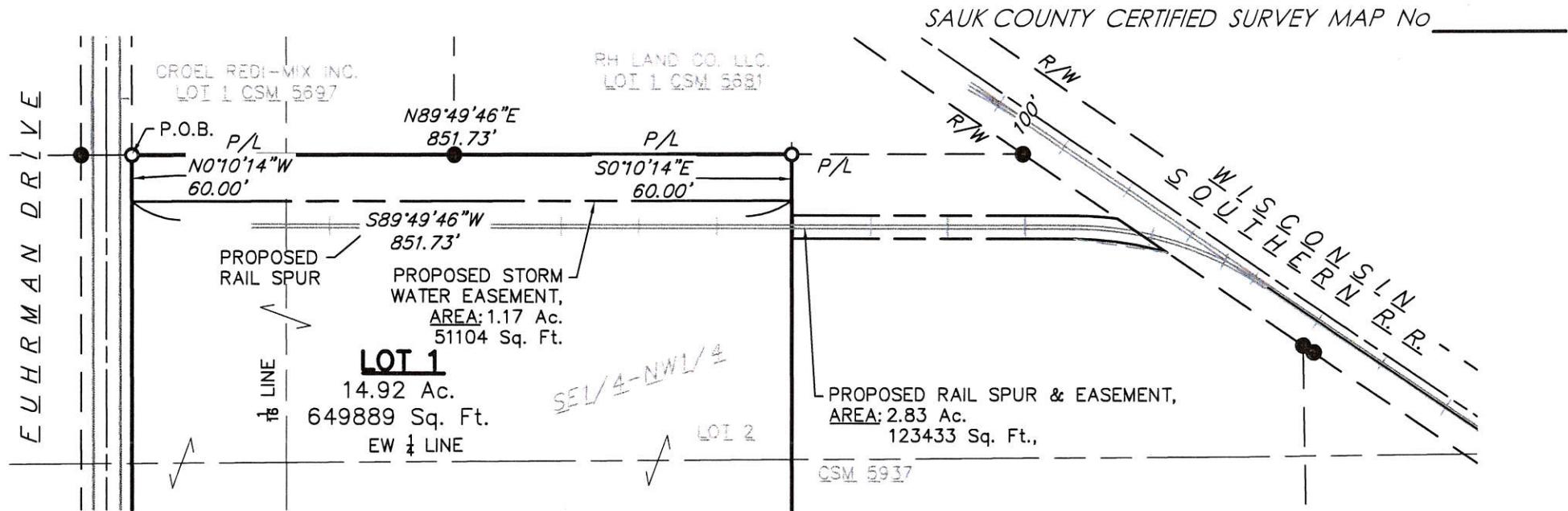
- SURVEY LEGEND**
- Found 3/4"  $\phi$  Iron Rod
  - Found Harrison Standard Monument Unless Noted, Verified Ties
  - ⊙ Set 3/4" x 24" Solid Iron Re-Rod, Wt. 1.50 lbs./ft.
  - ( ) Recorded As
- Distances are Measured to the Nearest Hundredth of Foot

- SURVEY NOTES:**
1. Bearings are referenced to the Wisconsin County Coordinate System, Sauk County, Wisconsin, the west line of the NW 1/4 of Section 14 bears N0°01'43"E.



SCALE 1"=60'		SHEET 1 OF 4	
CHECKED	SDIS	FILE	160093
DRAFTER	MLON	DATE	9/6/2016
REVISIONS		JOB NO. 160093	
		Phone: (800) 261-3898	

RE-PLAT OF LOT 2 OF SAUK COUNTY CERTIFIED SURVEY MAP 5937, RECORDED IN VOL. 34 OF CSMs PG. 5937, AS DOC. 1012425 AND LOCATED IN THE NE 1/4 OF THE SW 1/4, THE SE 1/4 OF THE NW 1/4, THE SW 1/4 OF THE NW 1/4 AND THE NW 1/4 OF THE SW 1/4 OF SECTION 14, T12N, R4E, CITY OF REEDSBURG, SAUK COUNTY, WISCONSIN.



60' WIDE STORM WATER EASEMENT DESCRIPTION

A Storm Water Management Easement, 60 feet in width, located in part of the SE 1/4 of the NW 1/4, of Section 14, Township 12 North, Range 4 East, City of Reedsburg, Sauk County, Wisconsin.

LEGAL DESCRIPTION

Commencing at the West Quarter Corner of Section 14, T12N, R5E; Thence, N00°01'43"E, along the west line of the SW 1/4 of the NW 1/4 of said Section 14, 405.36 feet;

Thence N89°49'46"E, 1151.76 feet to the northwest corner of Lot 1 of this Certified Survey Map, and the east right-of-way of Fuhrman Drive and the point of beginning (P.O.B.) of this easement description;

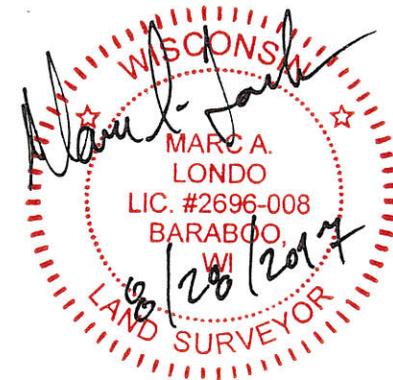
Thence N89°49'46"E, along the north line of said Lot 2 of Sauk County Certified Survey map 5937, 851.73 feet to the northeast corner of Lot 1 of this Certified Survey Map;

Thence S00°10'14"E, along the east line of Lot 1 of This Certified Survey Map, 60.00 feet;

Thence S89°49'46"W, 851.73 feet, to the east right of Fuhrman Drive;

Thence N00°10'14"W, along said east right-of-way, 60.00 feet returning to the point of beginning;

Parcel contains 1.17 Ac., 51104 Sq. Ft., and is subject to all other easements and rights-of-way of record



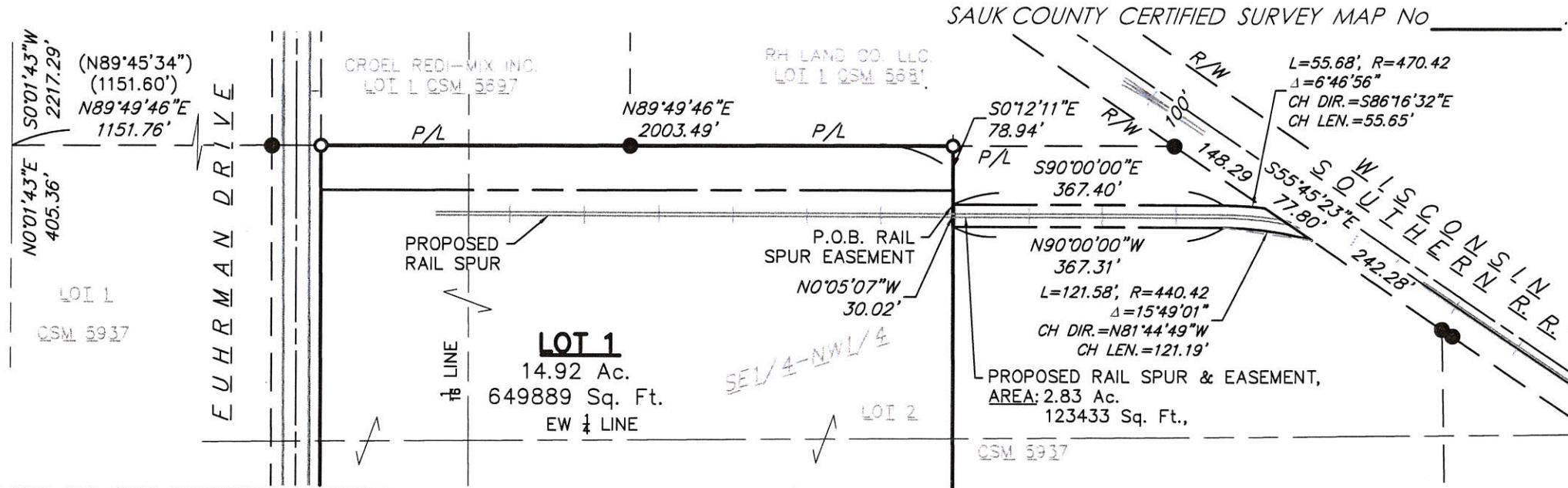
SCALE		1"=200'
CHECKED	SDIS	
DRAFTER	MLON	
FILE	160166	
DATE	8/22/2017	
REVISIONS		
JOB NO.	160166	
SHEET	2	OF 4



**vierbicher**  
planners | engineers | advisors

Phone: (800) 261-3898

RE-PLAT OF LOT 2 OF SAUK COUNTY CERTIFIED SURVEY MAP 5937, RECORDED IN VOL. 34 OF CSMs PG. 5937, AS DOC. 1012425 AND LOCATED IN THE NE 1/4 OF THE SW 1/4, THE SE 1/4 OF THE NW 1/4, THE SW 1/4 OF THE NW 1/4 AND THE NW 1/4 OF THE SW 1/4 OF SECTION 14, T12N, R4E, CITY OF REEDSBURG, SAUK COUNTY, WISCONSIN.



**30' WIDE RAIL SPUR EASEMENT DESCRIPTION**

A Railroad Spur Easement, 30 feet in width, located in part of the SE 1/4 of the NW 1/4, of Section 14, Township 12 North, Range 4 East, City of Reedsburg, Sauk County, Wisconsin.

**LEGAL DESCRIPTION**

Commencing at the West Quarter Corner of Section 14, T12N, R5E; Thence, N00°01'43"E, along the west line of the SW 1/4 of the NW 1/4 of said Section 14, 405.36 feet;

Thence N89°49'46"E, 2003.49 feet to the northwest corner of Lot 1 of this Certified Survey Map;

Thence S00°12'11"E, along the east line of Lot 1 of this Certified Survey Map, 78.94 feet the point of beginning (P.O.B.) of this easement description;

Thence S90°00'46"E, 367.40 feet to the point of curvature of a curve to the right;

Thence along said curve to the right having a radius of 470.42 feet, (a chord of 55.65 feet which bears S86°16'32"E), an arc distance of 55.68 feet to the southwesterly right-of-way of the Wisconsin Southern Railway.

Thence S55°45'23"E, along said southwesterly right-of-way, 77.80 feet to a non-tangent arc, concave to the southwest;

Thence along a non-tangent arc concave to the south having a radius of 440.42 feet, (a chord

of 121.19 feet which bears N81°44'49"W), an arc distance of 121.58 feet;

Thence N90°00'00"W, 367.31 feet, to the east line of Lot 1 of this Certified Survey Map;

Thence N00°05'07"W, along said east line of Lot 1, 30.02 feet returning to the point of beginning;

Parcel contains 0.31 Ac., 13612 Sq. Ft., and is subject to all other easements and rights-of-way of record.



SAUK COUNTY CERTIFIED SURVEY MAP No _____	
SCALE	1"=200'
CHECKED	SDIS
DRAFTER	MLON
FILE	160166
DATE	8/22/2017
REVISIONS	
JOB NO.	160166
	
<b>vierbicher</b> planners   engineers   advisors	
Phone: (800) 261-3898	
SHEET	3 OF 4

RE-PLAT OF LOT 2 OF SAUK COUNTY CERTIFIED SURVEY MAP 5937, RECORDED IN VOL. 34 OF CSMs PG. 5937, AS DOC. 1012425 AND LOCATED IN THE NE 1/4 OF THE SW 1/4, THE SE 1/4 OF THE NW 1/4, THE SW 1/4 OF THE NW 1/4 AND THE NW 1/4 OF THE SW 1/4 OF SECTION 14, T12N, R4E, CITY OF REEDSBURG, SAUK COUNTY, WISCONSIN.

SAUK COUNTY CERTIFIED SURVEY MAP No \_\_\_\_\_.

SURVEYOR'S CERTIFICATE

I, Marc A. Londo, Professional Land Surveyor #2696, hereby certify: That in full compliance with the provisions of Chapter 236 of the Wisconsin Statutes, Chapter A-E7 of the Wisconsin Administrative Code and the subdivision regulations of the City of Reedsburg, and under the direction of the ESI Design Services, I have surveyed, divided, and mapped this Certified Survey; that such survey correctly represents all exterior boundaries and the subdivision of the land surveyed; and that this land is located in the NE 1/4 of the SW 1/4, the SE 1/4 of the NW 1/4, the SW 1/4 of the NW 1/4 and the NW 1/4 of the SW 1/4 of Section 14, T12N, R4E, City of Reedsburg, Sauk County, Wisconsin, containing 14.92 acres of land and described as follows:

Legal Description

Re-Plat of Lot 2 of Sauk County Certified Survey Map 5937, Recorded in Vol. 34, Pg. 5937, as Doc. 1012425 and Located in the NE 1/4 of the SW 1/4, the SE 1/4 of the NW 1/4, the SW 1/4 of the NW 1/4 and the NW 1/4 of the SW 1/4 of Section 14, T12N, R4E, City of Reedsburg, Sauk County, Wisconsin.

Commencing at the West Quarter Corner of Section 14, T12N, R5E; Thence, N00°01'43"E, along the west line of the SW 1/4 of the NW 1/4 of said Section 14, 405.36 feet;

Thence N89°49'46"E, 1151.76 feet to the northwest corner of Lot 2 of Sauk County Certified Survey Map 5937, the east right-of-way of Fuhrman Drive and the point of beginning (P.O.B.) of this description;

Thence N89°49'46"E, along the north line of said Lot 2 of Sauk County Certified Survey map 5937, 851.73 feet;

Thence S00°10'14"E, 762.16 feet, to the north right-of-way line of Enterprise Drive;

Thence S89°42'21"W, along said north right-of-way of Enterprise Drive, 651.99 feet;

Thence S89°49'43"W, continuing along said north right-of-way of Enterprise Drive, 199.74 feet, to the east right of Fuhrman Drive and the southwest corner of said Lot 2 of Sauk County Certified Survey Map 5937;

Thence N00°10'14"W, along said east right-of-way of Fuhrman Drive, 763.56 feet returning to the point of beginning;

Parcel contains 14.92 Ac., 649,889 Sq. Ft., and is subject to all other easements and rights-of-way of record.

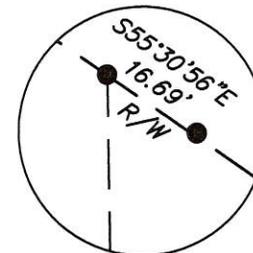
*Marc A. Londo* 8/28/2017  
 Marc A. Londo Date  
 PLS-2696  
 Vierbicher Assoc.

CITY OF REEDSBURG COMMON COUNCIL RESOLUTION

Resolved, that this Certified Survey in the NE 1/4 of the SW 1/4, the SE 1/4 of the NW 1/4, the SW 1/4 of the NW 1/4 and the NW 1/4 of the SW 1/4 of Section 14, T12N, R4E, City of Reedsburg, City of Reedsburg, owner, is hereby approved by the Common Council of the City of Reedsburg.

\_\_\_\_\_  
 David G. Estes, Mayor Date

\_\_\_\_\_  
 Jacob Crosetto, Clerk Date



DETAIL 1  
 1"=30'

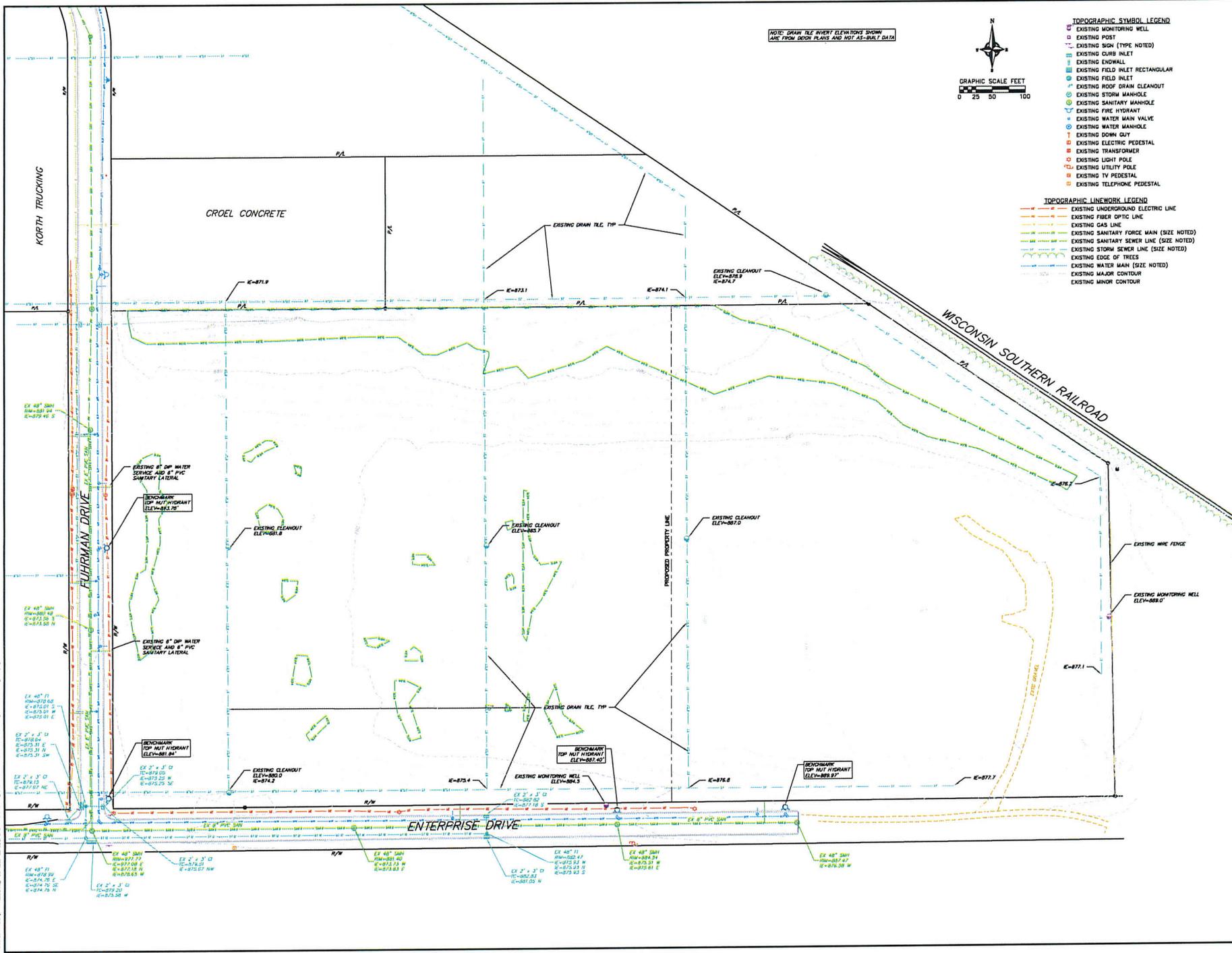


SCALE	1"=200'
CHECKED	SDIS
DRAFTER	MLON
FILE	160166
DATE	8/22/2017
REVISIONS	
JOB NO.	160166
SHEET	4 OF 4



**vierbicher**  
 planners | engineers | advisors

Phone: (800) 261-3898



NOTE: DRAIN TILE INVERT ELEVATIONS SHOWN ARE FROM DEGN PLANS AND NOT AS-BUILT DATA



- TOPOGRAPHIC SYMBOL LEGEND**
- EXISTING MONITORING WELL
  - EXISTING POST
  - EXISTING SIGN (TYPE NOTED)
  - EXISTING CURB INLET
  - EXISTING ENDWALL
  - EXISTING FIELD INLET RECTANGULAR
  - EXISTING FIELD INLET
  - EXISTING ROOF DRAIN CLEANOUT
  - EXISTING STORM MANHOLE
  - EXISTING SANITARY MANHOLE
  - EXISTING FIRE HYDRANT
  - EXISTING WATER MAIN VALVE
  - EXISTING WATER MANHOLE
  - EXISTING DOWN GUT
  - EXISTING ELECTRIC PEDESTAL
  - EXISTING TRANSFORMER
  - EXISTING LIGHT POLE
  - EXISTING UTILITY POLE
  - EXISTING TV PEDESTAL
  - EXISTING TELEPHONE PEDESTAL

- TOPOGRAPHIC LINEWORK LEGEND**
- EXISTING UNDERGROUND ELECTRIC LINE
  - EXISTING FIBER OPTIC LINE
  - EXISTING GAS LINE
  - EXISTING SANITARY FORCE MAIN (SIZE NOTED)
  - EXISTING SANITARY SEWER LINE (SIZE NOTED)
  - EXISTING STORM SEWER LINE (SIZE NOTED)
  - EXISTING EDGE OF TREES
  - EXISTING WATER MAIN (SIZE NOTED)
  - EXISTING MAJOR CONTOUR
  - EXISTING MINOR CONTOUR



PROPOSED FREEZER WAREHOUSE FOR  
SHARRATT CONSULTING  
ENTERPRISE DRIVE  
REEDSBURG, WI 53959

REVISIONS

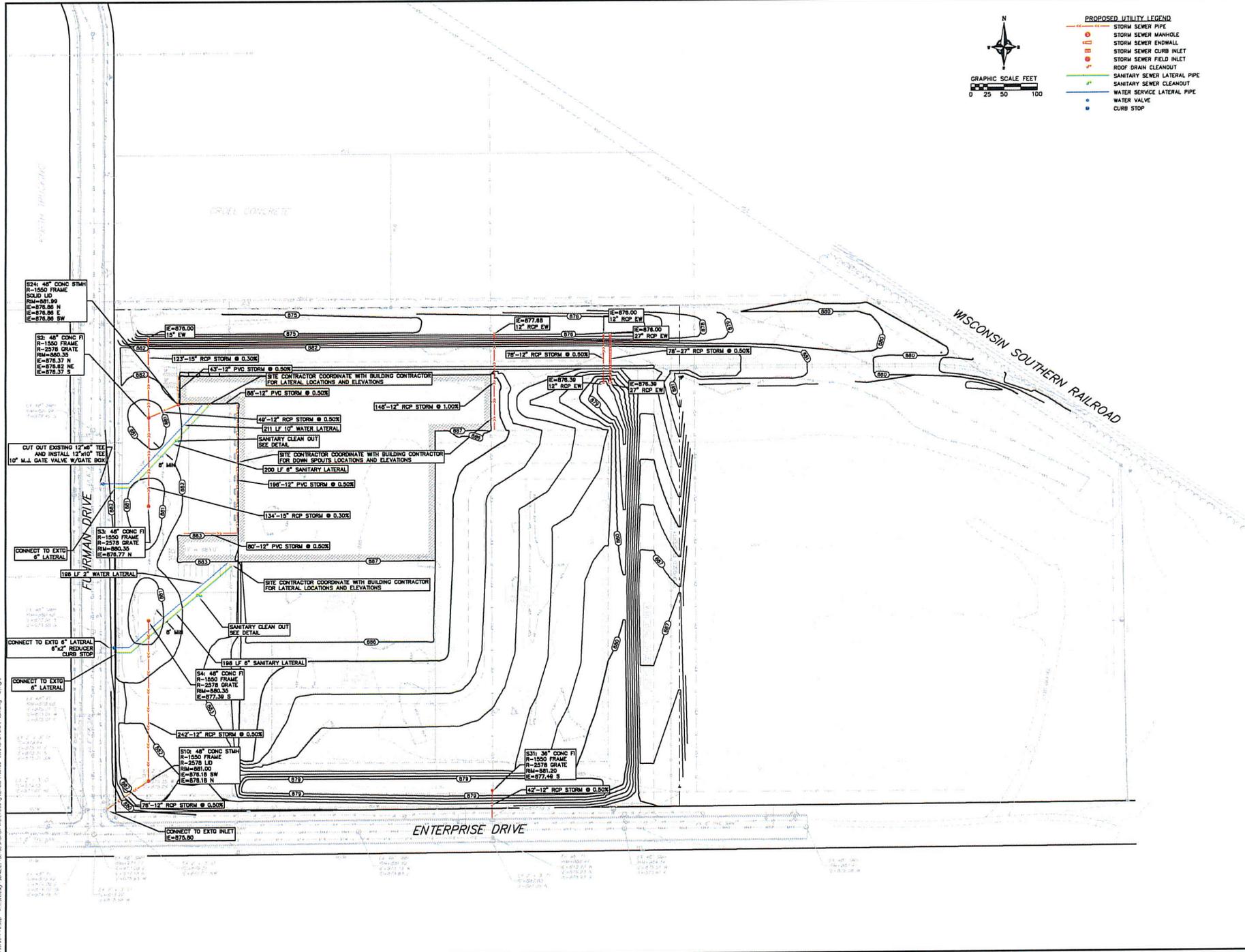
NO.	DATE	DESCRIPTION

DATE: 05/16/2017  
JOB NO.:  
DWG. No.:  
PLOT: SHARRATT  
SHEET TITLE: EXISTING CONDITIONS  
SHEET NUMBER:

PRELIMINARY DWGS. | FINAL CONST. DWGS. | SHEET NUMBER: C101-1

ESI DESIGN SERVICES, INC. 1000 WISCONSIN STREET, REEDSBURG, WI 53959





- PROPOSED UTILITY LEGEND**
- STORM SEWER PIPE
  - STORM SEWER MANHOLE
  - STORM SEWER ENDWALL
  - STORM SEWER CURB INLET
  - STORM SEWER FIELD INLET
  - ROOF DRAIN CLEANOUT
  - SANITARY SEWER LATERAL PIPE
  - SANITARY SEWER CLEANOUT
  - WATER SERVICE LATERAL PIPE
  - WATER VALVE
  - CURB STOP



PROPOSED FREEZER WAREHOUSE FOR  
 SHARRATT CONSULTING  
 ENTERPRISE DRIVE  
 REEDSBURG, WI 53959

REVISIONS

NO.	DATE	DESCRIPTION
1	05/18/2017	ISSUED FOR PERMIT

DATE: 05/18/2017 JOB NO.:  
 DWG BY: PJJUN CHD BY: CWOOD  
 SHEET TITLE: UTILITY PLAN

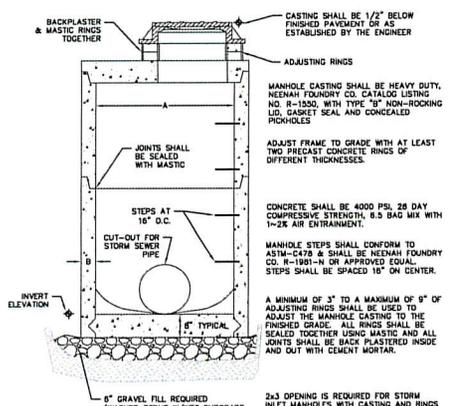
PRELIMINARY DWGS.   
 FINAL CONST. DWGS.   
 SHEET NUMBER

C101-3

500 North Maple Street, Reedsburg, WI 53959  
 TEL: 608.785.1111 FAX: 608.785.1112  
 WWW.ESI-DESIGN.COM



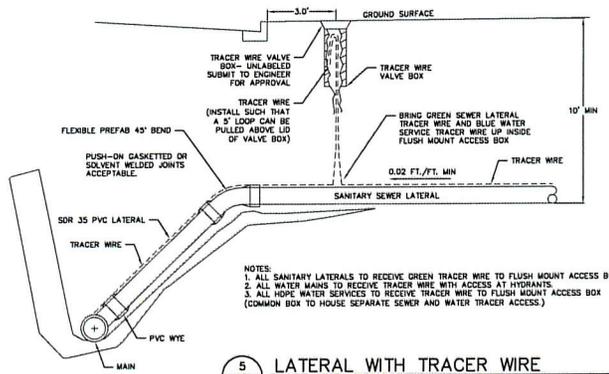




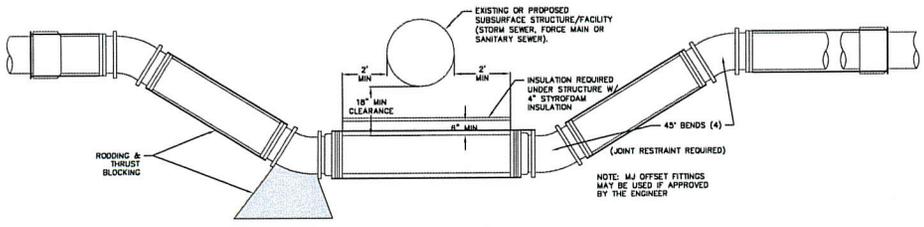
**1** STORM MANHOLE DIMENSIONS  
C101-6 NOT TO SCALE

MANHOLE SIZE	DIMENSION	
	A	B (MIN)
48"	48"	6"
60"	60"	6"
72"	72"	7"
84"	84"	7"
96"	96"	9"

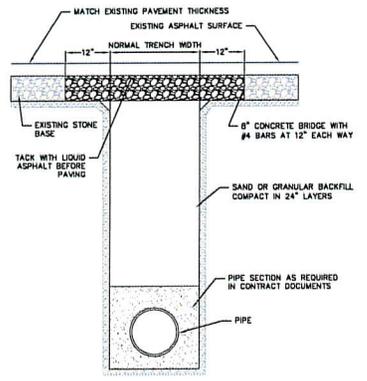
**1** STORM SEWER MANHOLE  
C101-6 NOT TO SCALE



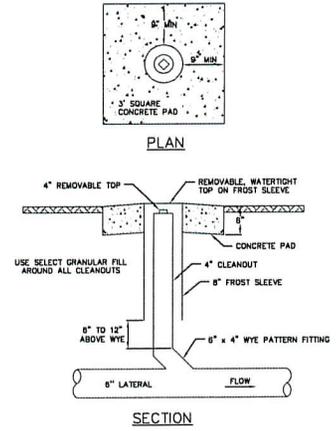
**5** LATERAL WITH TRACER WIRE  
C101-6 NOT TO SCALE



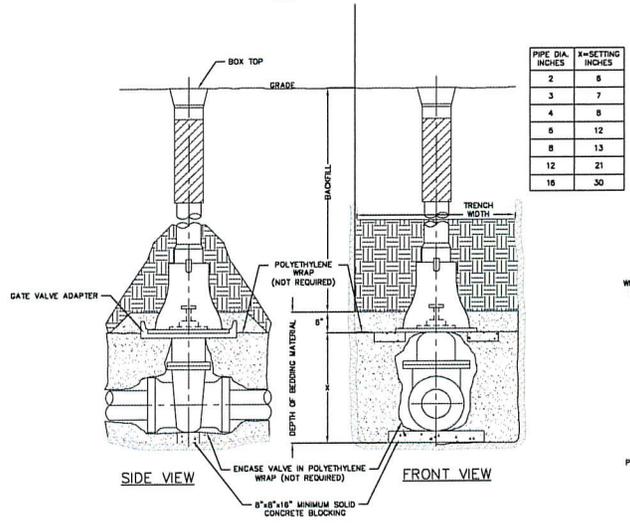
**8** LOWERING WATERMAIN UNDER STORM STRUCTURE  
C101-6 NOT TO SCALE



**2** CUT PAVEMENT TRENCH SECTION  
C101-6 NOT TO SCALE

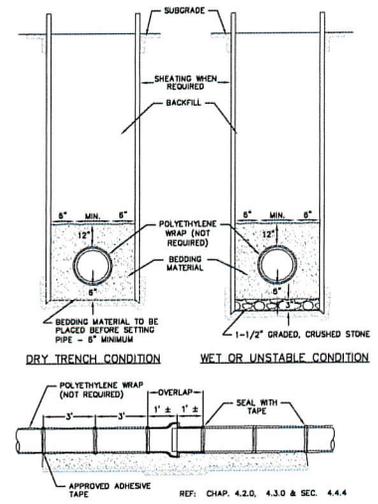


**3** 6" SANITARY CLEANOUT  
C101-6 NOT TO SCALE

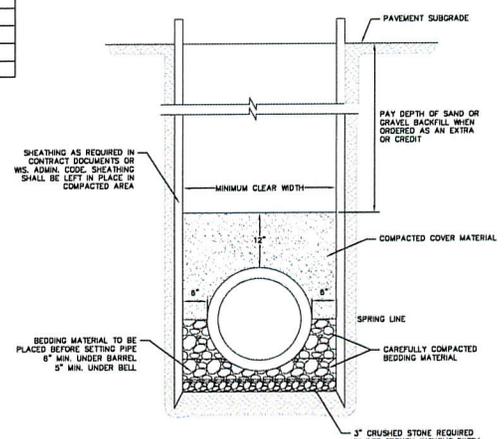


**6** STANDARD GATE VALVE BOX SETTING  
C101-6 NOT TO SCALE

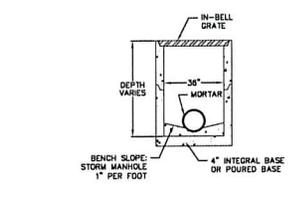
PIPE DIA. INCHES	X=SETTING INCHES
2	6
3	7
4	8
6	12
8	13
12	21
16	30



**4** STANDARD WATERMAIN TRENCH SECTION  
C101-6 NOT TO SCALE



**7** CLASS B BEDDING COMPACTED SECTION  
C101-6 NOT TO SCALE



**9** 36" CATCH BASIN  
C101-6 NOT TO SCALE



PROPOSED FREEZER WAREHOUSE FOR  
SHARRATT CONSULTING  
ENTERPRISE DRIVE  
REEDSBURG, WI 53959

REVISIONS


DATE: 05/18/2017	JOB NO.:
DWG BY: JGIR	CHG BY: DW00
SHEET TITLE: DETAILS	

PRELIMINARY DWGS. |  
FINAL CONST. DWGS. |  
SHEET NUMBER

C101-6



**EROSION CONTROL MEASURES**

- EROSION CONTROL SHALL BE IN ACCORDANCE WITH THE CITY OF REEDSBURG EROSION CONTROL ORDINANCE AND CHAPTER NR 216 OF THE WISCONSIN ADMINISTRATIVE CODE.
- CONSTRUCT AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES IN ACCORDANCE WITH WISCONSIN DNR TECHNICAL STANDARDS (<http://dnr.wis.gov/fun01/s10formwstar/techstds.htm>) AND WISCONSIN CONSTRUCTION SITE BEST MANAGEMENT PRACTICE HANDBOOK.
- INSTALL SEDIMENT CONTROL PRACTICES (TRACKING PAD, PERIMETER SILT FENCE, SEDIMENT BASINS, ETC.) PRIOR TO INITIATING OTHER LAND DISTURBING CONSTRUCTION ACTIVITIES.
- THE CONTRACTOR IS REQUIRED TO MAKE EROSION CONTROL INSPECTIONS AT THE END OF EACH WEEK AND WHEN 0.5 INCHES OF RAIN FALLS WITHIN 24 HOURS. INSPECTION REPORTS SHALL BE PREPARED AND FILED AS REQUIRED BY THE DNR AND/OR CITY. ALL MAINTENANCE WILL FOLLOW AN INSPECTION WITHIN 24 HOURS.
- EROSION CONTROL IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL ACCEPTANCE OF THIS PROJECT. EROSION CONTROL MEASURES AS SHOWN SHALL BE THE MINIMUM PRECAUTIONS THAT WILL BE ALLOWED. ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED IN WRITING BY THE STATE OR LOCAL INSPECTORS, OR THE DEVELOPER'S ENGINEER, SHALL BE INSTALLED WITHIN 24 HOURS.
- A 3' CLEAR STONE TRACKING PAD SHALL BE INSTALLED AT THE END OF ROAD CONSTRUCTION LIMITS TO PREVENT SEDIMENT FROM BEING TRACKED ONTO THE ADJACENT PAVED PUBLIC ROADWAY. SEDIMENT TRACKING PAD SHALL CONFORM TO WISCONSIN TECHNICAL STANDARD 1057. SEDIMENT REACHING THE PUBLIC ROAD SHALL BE REMOVED BY STREET CLEANING (NOT HYDRAULIC FLUSHING) BEFORE THE END OF EACH WORK DAY.
- CHANNELIZED RUNOFF FROM ADJACENT AREAS PASSING THROUGH THE SITE SHALL BE DIVERTED AROUND DISTURBED AREAS.
- STABILIZED DISTURBED GROUND: ANY SOIL OR DIRT PILES WHICH WILL REMAIN IN EXISTENCE FOR MORE THAN 7-CONSECUTIVE DAYS, WHETHER TO BE WORKED DURING THAT PERIOD OR NOT, SHALL NOT BE LOCATED WITHIN 20-FEET OF ANY ROADWAY, PARKING LOT, PAVED AREA, OR DRAINAGE STRUCTURE OR CHANNEL (UNLESS INTENDED TO BE USED AS PART OF THE EROSION CONTROL MEASURES). TEMPORARY STABILIZATION AND CONTROL MEASURES (SEEDING, MULCHING, TARPING, EROSION MATTING, BARRIER FENCING, ETC.) ARE REQUIRED FOR THE PROTECTION OF DISTURBED AREAS AND SOIL PILES, WHICH WILL REMAIN UN-WORKED FOR A PERIOD OF MORE THAN 14-CONSECUTIVE CALENDAR DAYS. THESE MEASURES SHALL REMAIN IN PLACE UNTIL SITE HAS STABILIZED.
- SITE DE-WATERING: WATER PUMPED FROM THE SITE SHALL BE TREATED BY TEMPORARY SEDIMENTATION BASINS OR OTHER APPROPRIATE CONTROL MEASURES. SEDIMENTATION BASINS SHALL HAVE A DEPTH OF AT LEAST 3 FEET, BE SURROUNDED BY SNOWFENCE OR EQUIVALENT BARRIERS AND HAVE SUFFICIENT SURFACE AREA TO PROVIDE A SURFACE SETTLING RATE OF NO MORE THAN 750 GALLONS PER SQUARE FOOT PER DAY AT THE HIGHEST DEWATERING PUMPING RATE. WATER MAY NOT BE DISCHARGED IN A MANNER THAT CAUSES EROSION OF THE SITE, A NEIGHBORING SITE, OR THE BED OR BANKS OF THE RECEIVING WATER. POLYMERS MAY BE USED AS DIRECTED BY OUR TECHNICAL STANDARD 1061 (DE-WATERING).
- WASHED STONE WEDEPERS OR TEMPORARY EARTH BERMS SHALL BE BUILT PER PLAN BY CONTRACTOR TO TRAP SEDIMENT OR TRAP VELOCITY OF STORM WATER.
- SEE DETAIL SHEETS FOR RIP-RAP SIZING. IN NO CASE WILL RIP-RAP BE SMALLER THAN 3" TO 6".
- INLET FILTERS ARE TO BE PLACED IN STORMWATER INLET STRUCTURES AS SOON AS THEY ARE INSTALLED. ALL PROJECT AREA STORM INLETS NEED WISCONSIN D.O.T. TYPE D INLET PROTECTION. THE FILTERS SHALL BE MAINTAINED UNTIL THE CITY HAS ACCEPTED THE BINDER COURSE OF ASPHALT.
- USE DETENTION BASINS AS SEDIMENT BASINS DURING CONSTRUCTION (DO NOT USE INFILTRATION AREAS). AT THE END OF CONSTRUCTION, REMOVE SEDIMENT AND RESTORE PER PLAN.
- RESTORATION (SEED, FERTILIZER AND MULCH) SHALL BE PER SPECIFICATIONS ON THIS SHEET (NOTE: ADD SEEDING RATE STANDARD OF DETAIL BLOCK TO PLAN) UNLESS SPECIAL RESTORATION IS CALLED FOR ON THE LANDSCAPE PLAN OR THE DETENTION BASIN DETAIL SHEET.
- TERRACES SHALL BE RESTORED WITH 6" TOPSOIL, PERMANENT SEED, FERTILIZER AND MULCH. LOTS SHALL BE RESTORED WITH 6" TOPSOIL, TEMPORARY SEED, FERTILIZER AND MULCH.
- AFTER DETENTION BASIN GRADING IS COMPLETE, THE BOTTOM OF DRY BASINS SHALL RECEIVE 6" TOPSOIL AND SHALL BE CHISEL-PLOWED TO A MINIMUM DEPTH OF 12" PRIOR TO RESTORATION.
- SEED, FERTILIZER AND MULCH SHALL BE APPLIED WITHIN 7 DAYS AFTER FINAL GRADE HAS BEEN ESTABLISHED. IF DISTURBED AREAS WILL NOT BE RESTORED IMMEDIATELY AFTER ROUGH GRADING, TEMPORARY SEED SHALL BE PLACED.
- FOR THE FIRST SIX WEEKS AFTER RESTORATION (E.G. SEED & MULCH, EROSION MAT, SOO) OF A DISTURBED AREA, INCLUDE SUMMER WATERING PROVISIONS OF ALL NEWLY SEEDED AND MULCHED AREAS WHENEVER 7 DAYS ELAPSE WITHOUT A RAIN EVENT.
- EROSION MAT (CLASS I, TYPE A URBAN PER WISCONSIN D.O.T. P.A.L.) SHALL BE INSTALLED ON ALL SLOPES 3:1 OR GREATER BUT LESS THAN 1:1.
- EROSION MAT (CLASS I, TYPE B URBAN PER WISCONSIN D.O.T. P.A.L.) SHALL BE INSTALLED ON THE BOTTOM (INVERT) OF ROADSIDE DITCHES/DRAINS AS SHOWN ON THIS PLAN, 1 ROLL WIDTH.
- SOIL STABILIZERS SHALL BE APPLIED TO DISTURBED AREAS WITH SLOPES BETWEEN 10X AND 3:1 (DO NOT USE IN CHANNELS). SOIL STABILIZERS SHALL BE TYPE B, PER WISCONSIN D.O.T. P.A.L. (PRODUCT ACCEPTABILITY LIST), OR EQUAL. APPLY AT RATES AND METHODS SPECIFIED PER MANUFACTURER. SOIL STABILIZERS SHALL BE RE-APPLIED WHENEVER VEHICLES OR OTHER EQUIPMENT TRACK ON THE AREA.
- SILT FENCE OR EROSION MAT SHALL BE INSTALLED ALONG THE CONTOURS AT 100 FOOT INTERVALS DOWN THE SLOPE ON THE DISTURBED SLOPE STEEPER THAN 5X AND MORE THAN 100 FEET LONG THAT SHEET FLOW TO THE ROADWAY UNLESS SOIL STABILIZERS ARE USED.
- SILT FENCE TO BE USED ACROSS AREAS OF THE LOT THAT SLOPE TOWARDS A PUBLIC STREET OR WATERWAY. SEE DETAILS.
- SEDIMENT SHALL BE CLEANED FROM CURB AND GUTTER AFTER EACH RAINFALL AND PRIOR TO PROJECT ACCEPTANCE.
- ACCUMULATED CONSTRUCTION SEDIMENT SHALL BE REMOVED FROM ALL PERMANENT BASINS TO THE ELEVATION SHOWN ON THE GRADING PLAN FOLLOWING THE STABILIZATION OF DRAINAGE AREAS.
- ALL CONSTRUCTION ENTRANCES SHALL HAVE TEMPORARY ROAD CLOSED SIGNS THAT WILL BE IN PLACE WHEN THE ENTRANCE IS NOT IN USE AND AT THE END OF EACH DAY.
- THE CITY, OWNER AND/OR ENGINEER MAY REQUIRE ADDITIONAL EROSION CONTROL MEASURES AT ANY TIME DURING CONSTRUCTION.

**CONSTRUCTION SEQUENCE:**

- INSTALL SILT FENCE AND TRACKING PAD
- INSTALL INLET PROTECTION
- STRIP TOPSOIL-DETECTION BASINS
- ROUGH GRADE DETENTION BASINS
- SEED DETENTION BASINS
- STRIP TOPSOIL & LOTS
- ROUGH GRADE LOTS
- SEED LOT AREAS AND INSTALL DRIVE-OVER VELOCITY CHECKS
- CONSTRUCT UNDERGROUND UTILITIES
- CONSTRUCT DRIVES/PARKING (STONE BASE, CURB & GUTTER AND SIDEWALK). REMOVE DRIVE-OVER VELOCITY CHECKS WHEN BASE COURSE IS PLACED
- RESTORE TERRACES
- REMOVE TRACKING PAD, SILT FENCE AND DIVERSION BERM MEASURES AFTER DISTURBED AREAS ARE RESTORED

**SEEDING RATES:**

- TEMPORARY:**
- USE ANNUAL OATS AT 3.0 LB./1,000 S.F. FOR SPRING AND SUMMER PLANTINGS.
  - USE WINTER WHEAT OR RYE AT 3.0 LB./1,000 S.F. FOR FALL PLANTINGS STARTED AFTER SEPTEMBER 15.

**PERMANENT:**

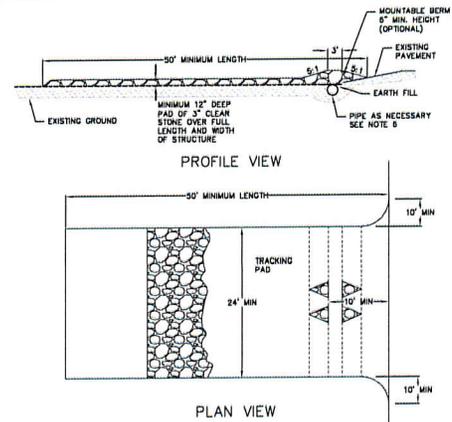
- USE WISCONSIN D.O.T. SEED MIX #40 AT 2 LB./1,000 S.F.

**FERTILIZING RATES:**

- TEMPORARY AND PERMANENT:**
- USE WISCONSIN D.O.T. TYPE A OR B AT 7 LB./1,000 S.F.

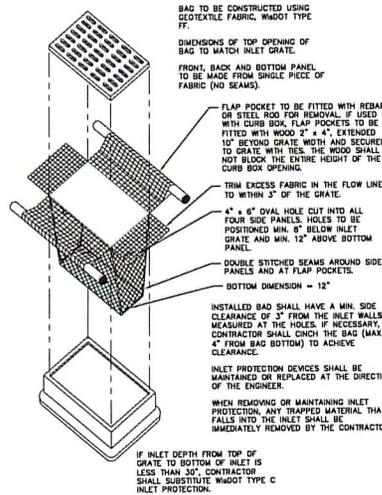
**MULCHING RATES:**

- TEMPORARY AND PERMANENT:**
- USE 3" TO 1-1/2" STRAW OR HAY MULCH, COMPED PER SECTION 807.3.2.3, OR OTHER RATE AND METHOD PER SECTION 827, WISCONSIN D.O.T. STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION



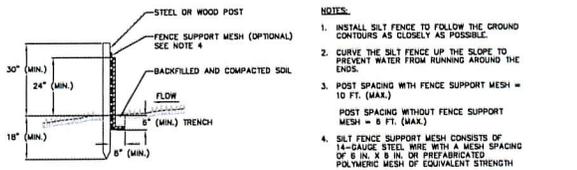
- FOLLOW WISCONSIN DNR TECHNICAL STANDARD 1057 FOR FURTHER DETAILS AND INSTALLATION.
- LENGTH - MINIMUM OF 50'
- WIDTH - 24" MINIMUM, SHOULD BE FLARED AT THE EXISTING ROAD TO PROVIDE A TURNING RADIUS.
- ON SITES WITH A HIGH GROUND WATER TABLE OR WHERE SATURATED CONDITIONS EXIST, GEOTEXTILE FABRIC SHALL BE PLACED OVER EXISTING GROUND PRIOR TO PLACING STONE. FABRIC SHALL BE W807 TYPE-HR GEOTEXTILE FABRIC.
- STONE - CRUSHED 3/4\"/>

**4 TRACKING PAD**  
C101-8 NOT TO SCALE

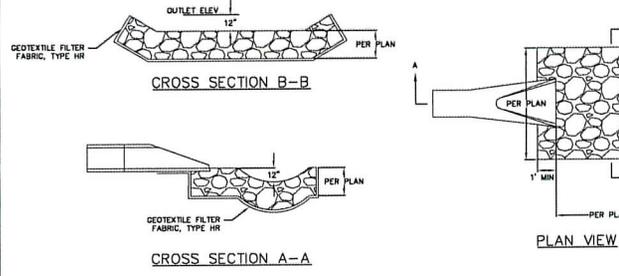


**3 INLET PROTECTION TYPE D**  
C101-8 NOT TO SCALE

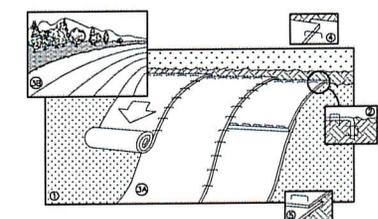
**5 EROSION MAT**  
C101-8 NOT TO SCALE



**1 SILT FENCE**  
C101-8 NOT TO SCALE



**2 RIP-RAP OUTLET**  
C101-8 NOT TO SCALE



- NOTE: REFER TO GENERAL STAPLE PATTERN GUIDE FOR CORRECT STAPLE PATTERN RECOMMENDATIONS FOR SLOPE INSTALLATIONS.
- PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING APPLICATION OF FERTILIZER AND SEED.
  - NOTE: WHEN USING CELL-O-SEED, DO NOT SEED PREPARED AREA. CELL-O-SEED MUST BE INSTALLED WITH PAPER SIDE DOWN.
  - BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN 6\"/>



PROPOSED FREEZER WAREHOUSE FOR  
SHARRATT CONSULTING  
ENTERPRISE DRIVE  
REEDSBURG, WI 53959

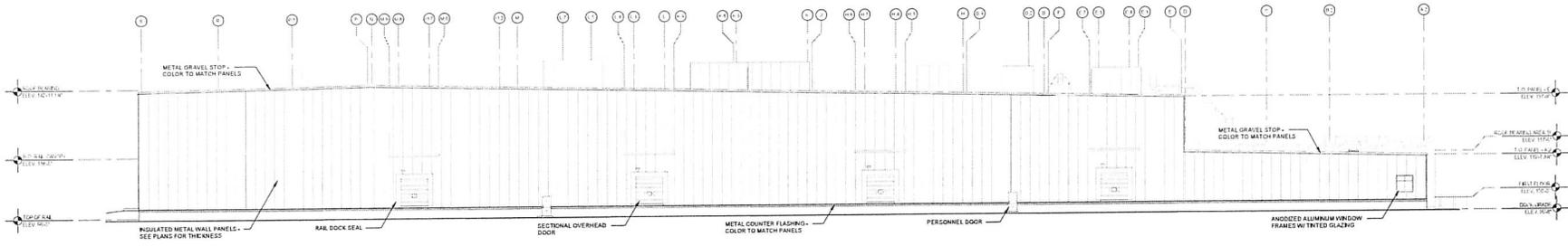
DATE	JOB NO.
05/18/2017	
DWG BY	CHKD BY
IGRE	DMO

SHEET TITLE  
DETAILS

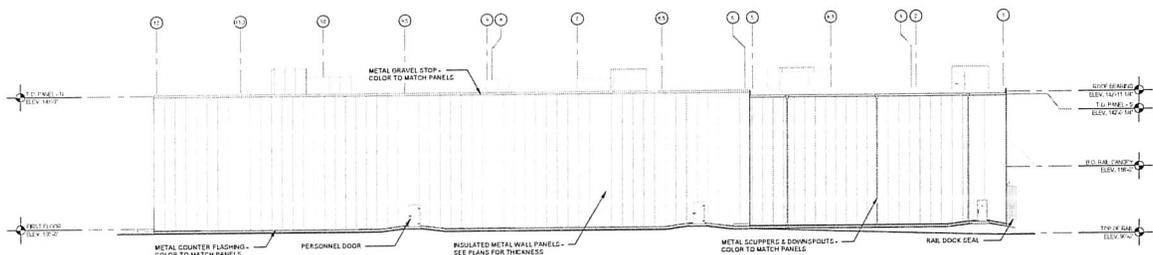
PRELIMINARY DWGS.

FINAL CONST. DWGS.

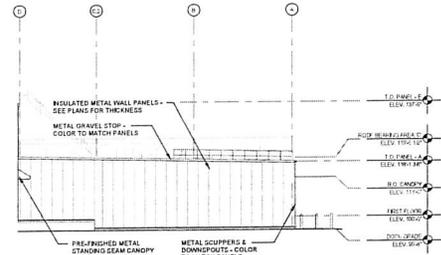
SHEET NUMBER  
C101-8



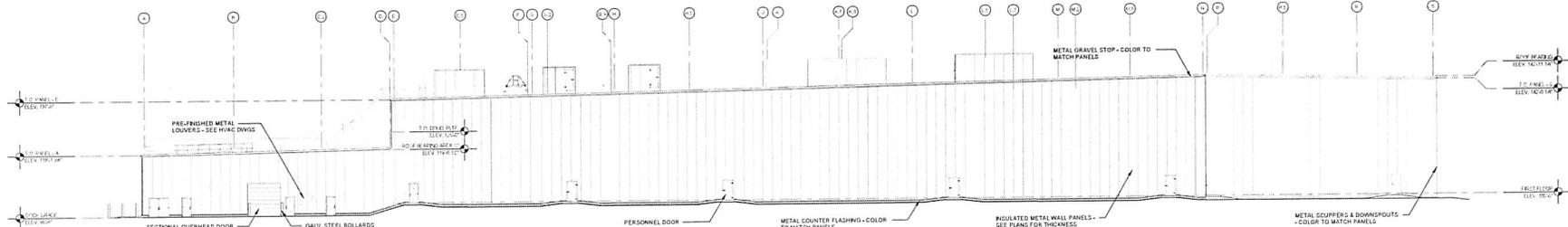
**1 NORTH ELEVATION**  
A301 1/16" = 1'-0"



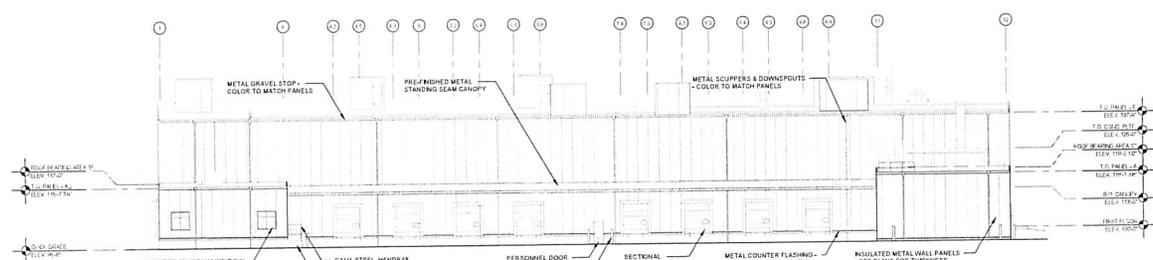
**2 EAST ELEVATION**  
A301 1/16" = 1'-0"



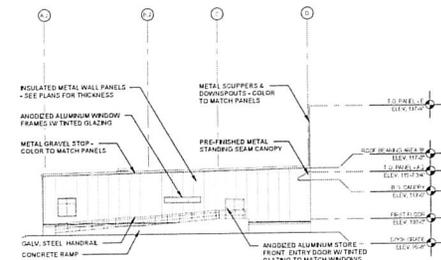
**3 SOUTH ELEVATION**  
A301 1/16" = 1'-0"



**4 SOUTH ELEVATION**  
A301 1/16" = 1'-0"



**5 WEST ELEVATION**  
A301 1/16" = 1'-0"



**6 NORTH ELEVATION**  
A301 1/16" = 1'-0"

REVISIONS

DATE	JOB NO.
07/14/2017	15-195-01
DATE BY	DATE BY
CBB	TRP

SHEET TITLE

**BUILDING ELEVATIONS - OVERALL**

CONSTRUCTION

SHEET NUMBER

**A301**

FACE BRICK OVER CONCRETE  
BLOCK MASONRY PIER

DIMENSION STRING FOR LOCATION  
OF REBAR IN CONCRETE BASE

25 1/4"x25 1/4"x2 1/4" SMOOTH  
FLAT TOP CUT STONE CAP  
W/ HAMMERED EDGES

3 PIECES AT +-33" BY  
13" WIDE x 2 1/4" TH. SMOOTH  
FLAT TOP CUT STONE CAP  
W/ HAMMERED EDGES

FACE BRICK OVER CONCRETE  
BLOCK MASONRY PIER

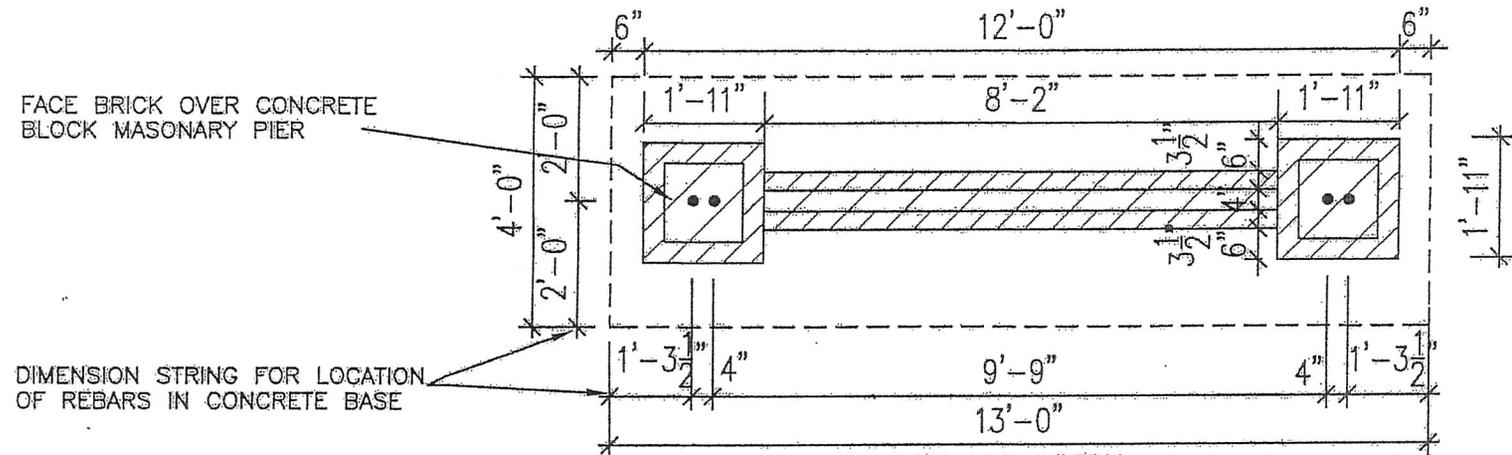
+-72" LG. x 48" WIDE OVAL  
PAINTED SIGN PROVIDED BY  
PREMIER REAL ESTATE MANAGEMENT  
INSTALLED BY NICOLET LUMBER

FACE BRICK TO WRAP AROUND SIGN  
W/ 1 1/4" REVEAL

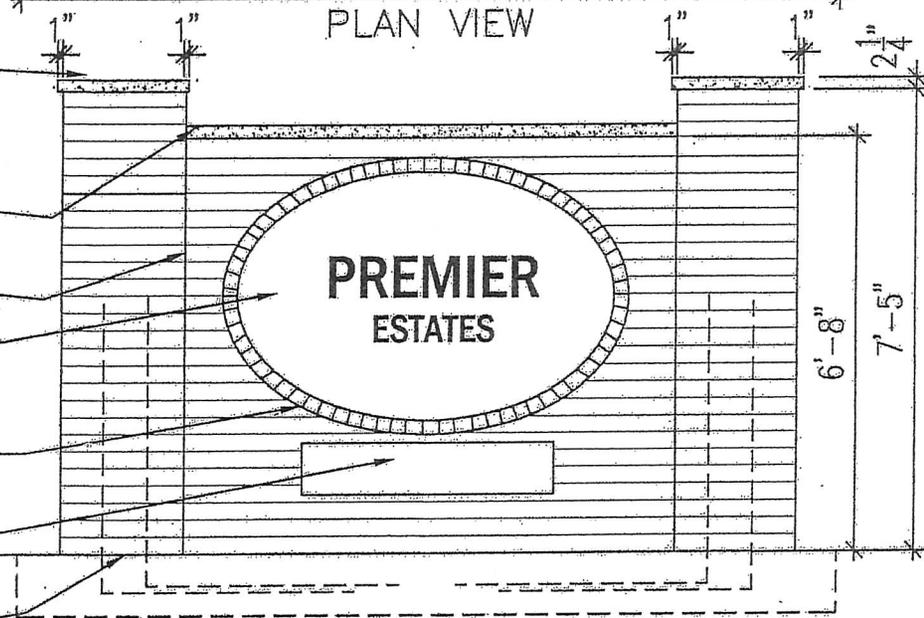
SURFACE APPLIED PHONE NUMBER PANEL  
PAINTED SIGN PROVIDED BY  
PREMIER REAL ESTATE MANAGEMENT  
INSTALLED BY NICOLET LUMBER

GRADE LINE

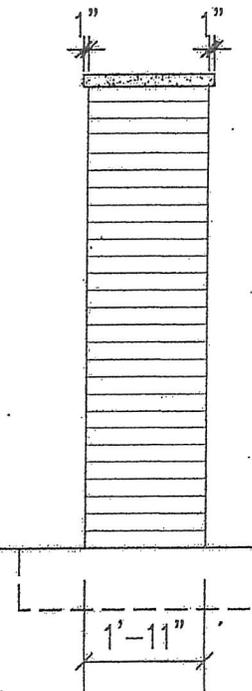
13'-0"x4'-0"x12" TH. CONC. SLAB W/ #4 BARS  
12" O.C. EACH WAY - PROVIDE DOWELS  
2- #4 DOWELS 48" ABOVE SLAB AT EACH PIER  
4" APART CENTERED ON PIER



PLAN VIEW



FRONT ELEVATION



SIDE VIEW

LARGE PROJECT SIGN





*Rolling  
Woods*  
ESTATES  
APARTMENT HOMES

608-746-2391



**STAFF REPORT**

City of Reedsburg  
134 South Locust Street, P.O. Box 490  
Reedsburg, WI 53959  
Ph. 608-524-6404 Fax. 608-524-8458  
www.reedsburgwi.gov

**AGENDA ITEM:** JA

**To:** Planning Commission Industrial and Commercial Development Commission, Finance Committee, Mayor and Common Council

**Prepared By:** Don Lichte, Chairman and Kurt Muchow, Technical Consultant  
Reedsburg Industrial and Commercial Development Commission (RICDC)  
Stephen P. Compton, City Administrator

**Date of Meeting:** September 12, 2017 (Planning Commission & Joint Agency Meeting)

**Subject:** Sharratt Warehouse & Development, LLC - Memorandum of Understanding (MOU).

**BACKGROUND**

The Reedsburg Industrial and Commercial Development Commission have worked with the Sharratt Warehousing & Distribution, LLC for the past five plus years to bring a Warehouse facility to the City of Reedsburg. Many meetings and discussion have resulted in private investor agreements, lenders funding the development and even a U.S. Government agency helping fund construction. In anticipation of future "Development Agreements" the City Administrator engaged the services of Ehlers-INC, a municipal Tax Increment District financial advisor to review all TIF Districts and to specifically review the financing proposed for the Warehouse project.

Last year during a coordinating meeting City and Utility Staff along with developer representatives walked the site to discuss warehouse infrastructure coordination needs.

**ANALYSIS**

**PROJECT:** A Warehouse facility, delivering employment opportunity, located on 14.9 acres in the City of Reedsburg Industrial Park with rail and trucking access has been proposed.

Tenants for using the facility will be served by 350 rail cars traffic daily, roadway access to the property will expect a certain level of truck traffic. The Warehouse facility will include truck docks and trailer storage area on location. Consideration should be discussed to allow large entrances, associated employee parking spaces; storm water detention facilities and landscaping will be part of the Planning Commission consideration.

Following the Planning Commission and Reedsburg Industrial and Commercial Commission (RICDC) reviews/recommendations the City Council will be asked to consider the "Draft Memorandum of Understanding" attached to this staff report.

**Developer Due Diligence:** A review of the Warehouse developer's by Don Lichte, the Chairmen of Reedsburg Industrial and Commercial Commission (RICDC) was completed. Also the developers have national presence on public web sites:

Novogradac & Company LLP is a national certified public accounting and consulting firm.

Developer: Richard and Dianne Sharratt: Type of Development: Commercial

Owner: Sharratt Warehousing & Distribution, LLC: City and State: Reedsburg, Wisconsin



City of Reedsburg  
134 South Locust Street, P.O. Box 490  
Reedsburg, WI 53959  
Ph. 608-524-6404 Fax. 608-524-8458  
www.reedsburgwi.gov

### **Brief Description of Development:**

An exciting rural, operating business project located in the heart of Wisconsin's dairy, vegetable and fruit production regions. This project consists of the development, construction and operation of rail served warehousing and distribution facility, providing temperature controlled storage and logistics capabilities to food and agriculturally-related industries. The project will be owned and managed on site by a husband and wife team that has founded and successfully **operated five public refrigerated warehouses in four cities and two states.** In addition to job creation from the project (full time direct jobs, as well as construction-related and other indirect jobs), **the project is anticipated to spur much needed additional development in the City of Reedsburg.**

### **FISCAL IMPACT**

Greg Johnson, Ehlers Financial Analysis has prepared cash flows for all Tax Increment Districts in 2017. A special Tax Increment District #9 cash flow study was prepared for the Sharratt Warehouse Project. The cash flow shows the development in the district #9, to be a positive cash generator for the district. Mr. Johnson has validated the funding numbers proposed in the MOU.

Greg Johnson, Ehlers will be available by telephone for the Joint Agency meeting on Sep. 12, 2017

### **STAFF RECOMMENDATION**

This report is for review by members of the Planning Commission and the Joint Agencies meeting to recommend the project to the City Council.

Action: Approve/Deny the Sharratt Warehouse & Distribution, LLC Memorandum of Understanding,

### **ATTACHMENT:**

- Warehouse - 2017 Memorandum of Understanding
- Site Plan/Elevations – Submitted for approval by Plan Commission
- Time Line

## MEMORANDUM OF UNDERSTANDING

Between

Sharratt Warehousing & Distribution, LLC

Sandhill, Inc.

And The

City Of Reedsburg, Wisconsin

Sharratt Warehousing & Distribution, LLC (Developer) and Sandhill, Inc. (Corporation) are proposing to construct and operate a new warehouse and distribution facility in Reedsburg's Industrial Park. This Memorandum of Understanding (MOU) is intended to summarize the commitments of the Developer, Corporation and City of Reedsburg (City). These commitments will be formalized in a Development Agreement which will be executed by the Developer, Corporation and City. For purposes of this Memorandum of Understanding, Developer and Corporation are commonly referred to as Developer.

### WITNESSETH:

Whereas, the Developer is contemplating constructing and operating a new cold storage warehousing and distribution facility in Reedsburg's Industrial Park. The project would result in the creation of new tax base and new jobs; and

Whereas, the new facility will provide needed warehousing space for food processing companies in the area; and

Whereas, the ultimate decision to construct the facility will be based on the financial feasibility of the project.

Whereas, the City recognizes the importance of growing the local economy and working cooperatively with business to help facilitate business expansion;

Whereas, the City recognizes the economic benefits created by the proposed project is good for the citizens of Reedsburg; and

Whereas, it has been concluded that it is in the City's best interest to have this project be implemented in Reedsburg.

NOW, THEREFORE, in consideration of the premises and the mutual obligations of the parties hereto, each of them does hereby covenant and agree with the other as follows:

#### I. Developer Agreement

1. Purchase the parcel of land identified on Exhibit A from the City for one dollar (\$1.00). The parcel size is approximately 14.9 total acres. The value of the parcel, based on the cost of land acquisition, site development and infrastructure is \$600,000.
2. Construct and operate a new warehousing and distribution facility as illustrated on Exhibit B within the schedule shown on Exhibit D. The new facility shall consist of the following: approximate 97,000 square foot building including warehouse space, space for dock areas, mechanical space and office. The project shall also include: a new rail spur, access drives, truck docks, parking areas, stormwater facilities, landscaping and storage racking systems.

3. Expend \$19,650,000 toward the new facility, which is broken down as follows: \$16,800,000 for real estate improvements, \$1,350,000 for personal property (racking, lift equipment, WMS system, etc) and \$1,500,000 of non-taxable improvements.
4. Increase the equalized taxable value of real estate on the parcel by \$12,600,000 and create \$800,000 of personal property taxable value by December 31, 2018. Generate at least the annual amount of tax increment revenue as shown on Exhibit C for the term of the Development Agreement, with the first full payment being in 2020.
5. Develop a storm water management system on the parcel to meet the requirements of state and federal storm water regulations and apply for all necessary permits. Note, the Developer may expand the City's regional detention basin to provide a portion of the required stormwater management facilities.
6. Create 20 new full time equivalent jobs with wages from \$12 of \$18 per hour, plus benefits, by December 31, 2020.
7. Utilize the Wisconsin Southern Railroad to transport product to and from the facility. The estimated rail usage will be 350 cars per year.
8. Design, construct, own and maintain the new rail spur constructed to serve the warehousing and distribution facility. The Developer shall agree to an additional rail spur to be constructed off of this rail spur to serve the vacant industrial property located east of the proposed warehousing and distribution facility. Any future rail spur shall be designed, constructed, owned and maintained by others. The future rail spur owner shall enter into a rail agreement with the Developer.
9. Obtain all necessary permits; comply with all local, state, and federal requirements. Developer shall be responsible to pay all permit fees and City impact and connection fees.
10. Submit a site plan, building plan and a landscaping plan for the City to review and approve.
11. Execute a Development Agreement between the City and Developer as stipulated in Section IV.
12. Developer shall not seek a reduction of property tax assessment during the term of this agreement.
13. Any costs expended by the Developer will be exclusive to the Developer and will not be a cost of the City.

## II. City of Reedsburg Agreement

1. Sell the parcel of land identified on Exhibit A to the Business for one dollar (\$1.00). The parcel size is approximately 14.9 acres. The value of the parcel, based on the cost of land acquisition, site development and infrastructure is \$600,000.
2. Using TID No. 9 funds, the City shall provide a Direct Business Assistance grant in the amount of \$930,000 to be used toward the rail spur, stormwater management facilities, site development, landscaping, soil stabilization and building construction.
3. Using TID No. 9 funds, the City shall provide TIF funding to the Developer using the "pay-as-you-go" methodology. Based on the guaranteed TIF revenue shown in Exhibit C, the City shall make an annual TIF payment to the Developer in the amount of \$145,000. The first payments will be made in 2020 and the last payment in 2029. Said payments shall be made provided the Developer is in compliance with the terms of the Development Agreement. Payments are also subject to the Guaranteed Tax Increment Revenue provisions included in Section III, 4 of this Agreement.

4. Construct a water main loop starting at the east end of the existing water main in Enterprise Drive, and extend the main east and northerly to Laukant Street. The estimated cost is \$275,000.
5. The City shall provide a Right of First Refusal for a 5 year period to the Developer to purchase up to 5 acres of additional land immediately east of the parcel shown on Exhibit A. To exercise the Right of First Refusal, the Developer shall commit to an expansion project that justifies the need for the additional land. Construction of the proposed facility on the adjacent land shall take place within 2 years of exercising the Right of First Refusal.
6. The City agrees to assist the Developer obtain financial assistance from available local, state and federal programs.
7. Any money expended exclusively by the City for this project will not be reimbursed by the Developer.

### III. Security

1. Insurance. The Developer shall maintain insurance on the Parcel, in an amount not less than the full insurable value of the improvements, for fire, casualty, and external damage coverage and shall name the City as an additional insured, for the term of this Agreement. The City shall be in a subordinate position to any bank and/or other lender (collectively, the "Lender") providing construction or long-term financing for the Facility or to the Developer. A copy of an insurance binder or certificate of insurance demonstrating compliance with this Section shall be submitted to the City within thirty (30) days after commencement of construction at the Facility. Thereafter, the Developer shall provide the City with written evidence of compliance with this Section on an annual basis. In the event the improvements on the Parcel are damaged or destroyed before the City has totally recovered its expenditures for this project, the proceeds from the insurance shall be payable to the Developer, and subject to the Lender's requirements, shall be applied toward either (a) the reconstruction of the improvements so destroyed or damaged, or (b) the then outstanding unpaid principal balance of the City's loan taken out to fund the City's Development Costs. The parties agree that solely for purposes of this Agreement, the amount of the City's Development Cost is one million three hundred thirty five thousand and no/100's Dollars (\$1,335,000.00).
2. Irrevocable Letter of Credit. The parties acknowledge and agree that the Tax Increment received by the City from TID No. 9 is intended to be sufficient to pay the City those sums which the City will incur in Development Costs, plus interest. The City's Development Costs include the cost for infrastructure and Direct Business Assistance. The City's Development Costs also include incurred administrative, grant writing, grant administration, legal and financing costs. The parties agree that solely for purposes of this Agreement, the amount of the City's Development Cost is one million three hundred thirty five thousand and no/100's Dollars (\$1,335,000.00).

Notwithstanding any other provisions herein, if Developer is not in complete compliance with the conditions set forth in Article I, then the City, at its sole option, may draw upon the Irrevocable Letter of Credit in a sum not exceeding one million three hundred thirty five thousand and no/100's Dollars (\$1,335,000.00), plus accrued interest. DEVELOPER, at the time of Closing shall provide the City an Irrevocable Letter of Credit. The Irrevocable Letter of Credit shall be payable at sight to the City, authorize partial draws, and shall include a provision requiring that the City be given written notice not less than 45 days nor more than 60 days prior to expiration of the Irrevocable Letter of Credit. The termination date of the Irrevocable Letter of Credit is December 31, 2018, or the date of occupancy of the new warehousing and distribution facility as described in Section I.

3. First Position Real Estate Mortgage. The parties acknowledge and agree that the Tax Increment received by the City from TID No. 9 is intended to be sufficient to pay the City those sums which the City has incurred in the acquisition and development of the Development Site. The parties agree that solely for purposes of this Agreement, the amount the City considers attributable to the

Development Site is six hundred thousand and no/100's Dollars (\$600,000.00) ("City Upfront Development Cost"). The City Upfront Development Costs includes the City's cost to acquire the land, improve the site and construct public infrastructure. The City Upfront Development Costs also includes incurred administrative and financing costs.

It is specifically agreed by and between the parties hereto that the City shall have a first position real estate mortgage against the parcel to guarantee the Developer shall convey the parcel back to the City in the event the Developer does not implement the proposed cold storage warehousing and distribution facility. Said conveyance shall be free and clear of all liens and encumbrances. The first position real estate mortgage shall be in the amount of six hundred thousand and no/100's Dollars (\$600,000.00), which is equal to the City Upfront Development Cost. It is also specifically agreed by and between the parties hereto that the City shall subordinate to the first mortgage lenders once construction is started and funds are disbursed by the lender. Upon completion on the new warehousing and distribution facility, the Real Estate Mortgage shall be in a subordinate security position to the first mortgage lenders, but shall remain against the parcel for the term of the Agreement.

4. **Guaranteed Tax Increment Revenue.** During the term of this Agreement, the Developer shall generate at least the annual amount of tax increment revenue as shown on Exhibit C for the term of the Development Agreement, with the first full payment being in 2020. In the event the actual tax increment revenue payment is less than the amount shown in Exhibit C, the City shall reduce the annual pay-as-you-go payment to the Developer, as provided for in Section II.3 of this Agreement. The amount of the reduction to the annual pay-as-you-go payment shall be equal to the difference between the actual tax increment revenue and the amount shown on Exhibit C. In the event the reduction to the annual pay-as-you-go payment is not sufficient to make up the shortfall of the guaranteed tax increment revenue shown on Exhibit C, Developer shall pay to City annually a sum equal to the difference between the amount shown on Exhibit C and the deficit left after the reduction in the annual pay-as-you-go is applied. The payments shall be made by the Developer to the City and shall continue annually until the expiration date of this Agreement. If the Developer fails to make the payment upon the written demand of the City, the City shall add the amount owed by the Developer to the real estate tax bill for the Development Site. In no event shall this paragraph be interpreted to allow the Developer to pay less than the legally established annual property tax levied against the property which may be in excess of the guaranteed minimum amount established above; nor shall the Developer be relieved of its responsibility to pay such taxes levied after termination of this Agreement.

#### IV. Acknowledgements & Contingencies

The parties to this MOU acknowledge the commitments included in this document are preliminary and are subject to change as the project scope is finalized. The parties also acknowledge the following contingents:

1. The Developer obtaining financing.
2. Approval by the Reedsburg Industrial & Commercial Development Commission, Reedsburg Plan Commission and the Reedsburg Common Council.
3. The term of the Development Agreement will be December 31, 2032, which is when the City's debt is projected to be paid off using a fifteen (15) year amortization.

Both parties mutually understand the City and/or Developer will execute a development agreement. This MOU will expire once both parties sign a development agreement or on November 15, 2017, whichever comes first. The terms stated herein constitute the entire agreement between the Developer and City. The City and the Developer must agree to any amendment to this agreement in writing.

IN WITNESS WHEREOF, the parties hereto have executed this Agreement on:

\_\_\_\_\_, 2017.

For the Reedsburg Industrial and Commercial Development Commission

\_\_\_\_\_  
Chair

\_\_\_\_\_  
Date

For the City of Reedsburg

\_\_\_\_\_  
David G. Estes, Mayor

\_\_\_\_\_  
Date

For Sharratt Warehousing & Distribution, LLC

\_\_\_\_\_  
Member

\_\_\_\_\_  
Date

\_\_\_\_\_  
Member

\_\_\_\_\_  
Date

\_\_\_\_\_  
Witness

\_\_\_\_\_  
Date

\_\_\_\_\_  
Stephen Compton, Administrator

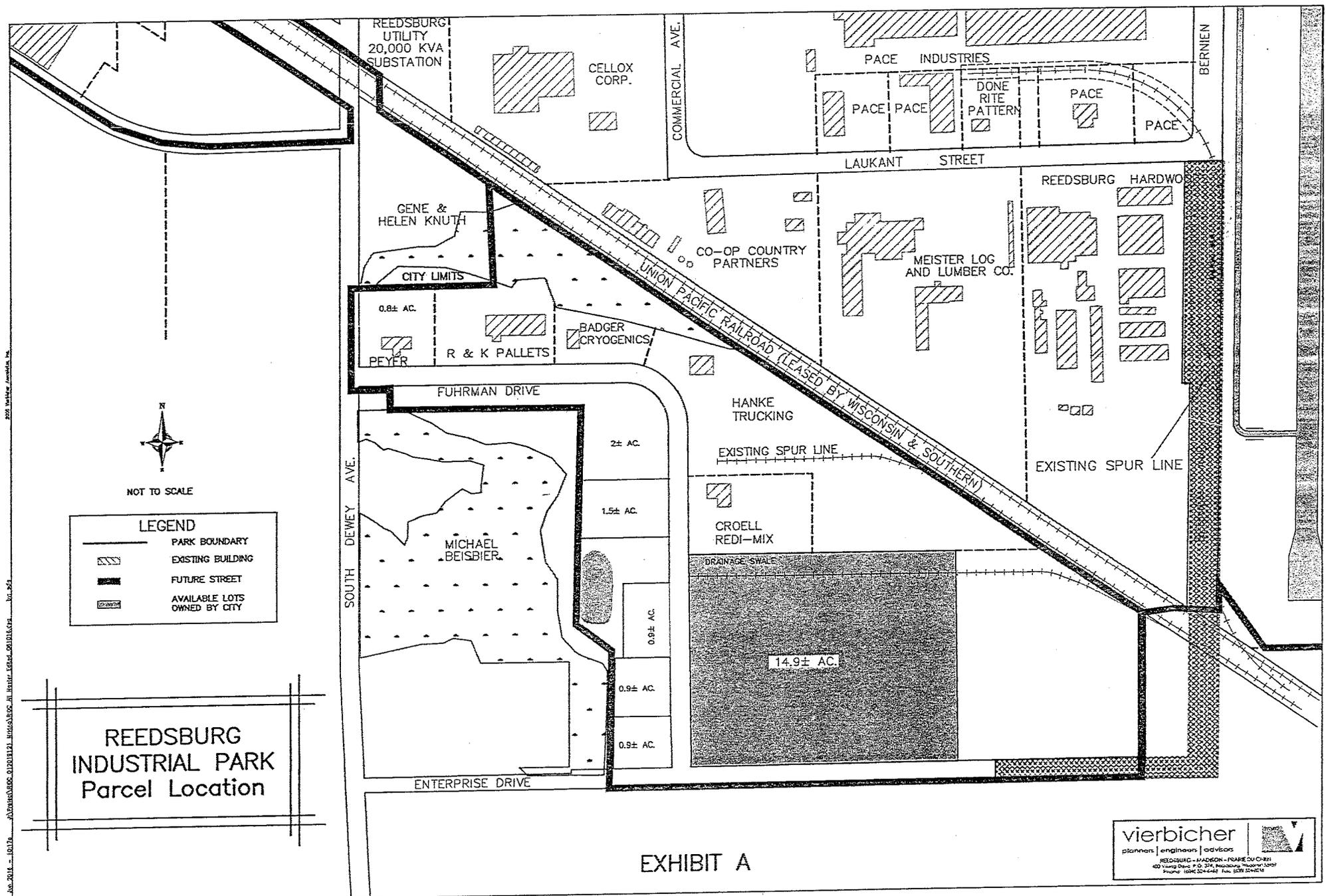
\_\_\_\_\_  
Date

\_\_\_\_\_  
Witness

\_\_\_\_\_  
Date

\_\_\_\_\_  
Witness

\_\_\_\_\_  
Date



REEDSBURG  
UTILITY  
20,000 KVA  
SUBSTATION

CELLOX  
CORP.

PACE INDUSTRIES

PACE PACE

DONE  
RITE  
PATTERN

PACE

PACE

GENE &  
HELEN KNUTH

CO-OP COUNTRY  
PARTNERS

MEISTER LOG  
AND LUMBER CO.

REEDSBURG HARDWO

0.8± AC.

PEYER

R & K PALLETS

BADGER  
CRYOGENICS

FUHRMAN DRIVE

HANKE  
TRUCKING

EXISTING SPUR LINE

EXISTING SPUR LINE



NOT TO SCALE

LEGEND

- PARK BOUNDARY
- EXISTING BUILDING
- FUTURE STREET
- AVAILABLE LOTS OWNED BY CITY

SOUTH DEWEY AVE.

COMMERCIAL AVE.

LAUKANT STREET

BERNIEN

UNION PACIFIC RAILROAD (LEASED BY WISCONSIN & SOUTHERN)

MICHAEL  
BEISBIER

CROELL  
REDI-MIX

DRAINAGE SWALE

14.9± AC.

1.5± AC.

2± AC.

0.9± AC.

0.9± AC.

0.9± AC.

ENTERPRISE DRIVE

REEDSBURG  
INDUSTRIAL PARK  
Parcel Location

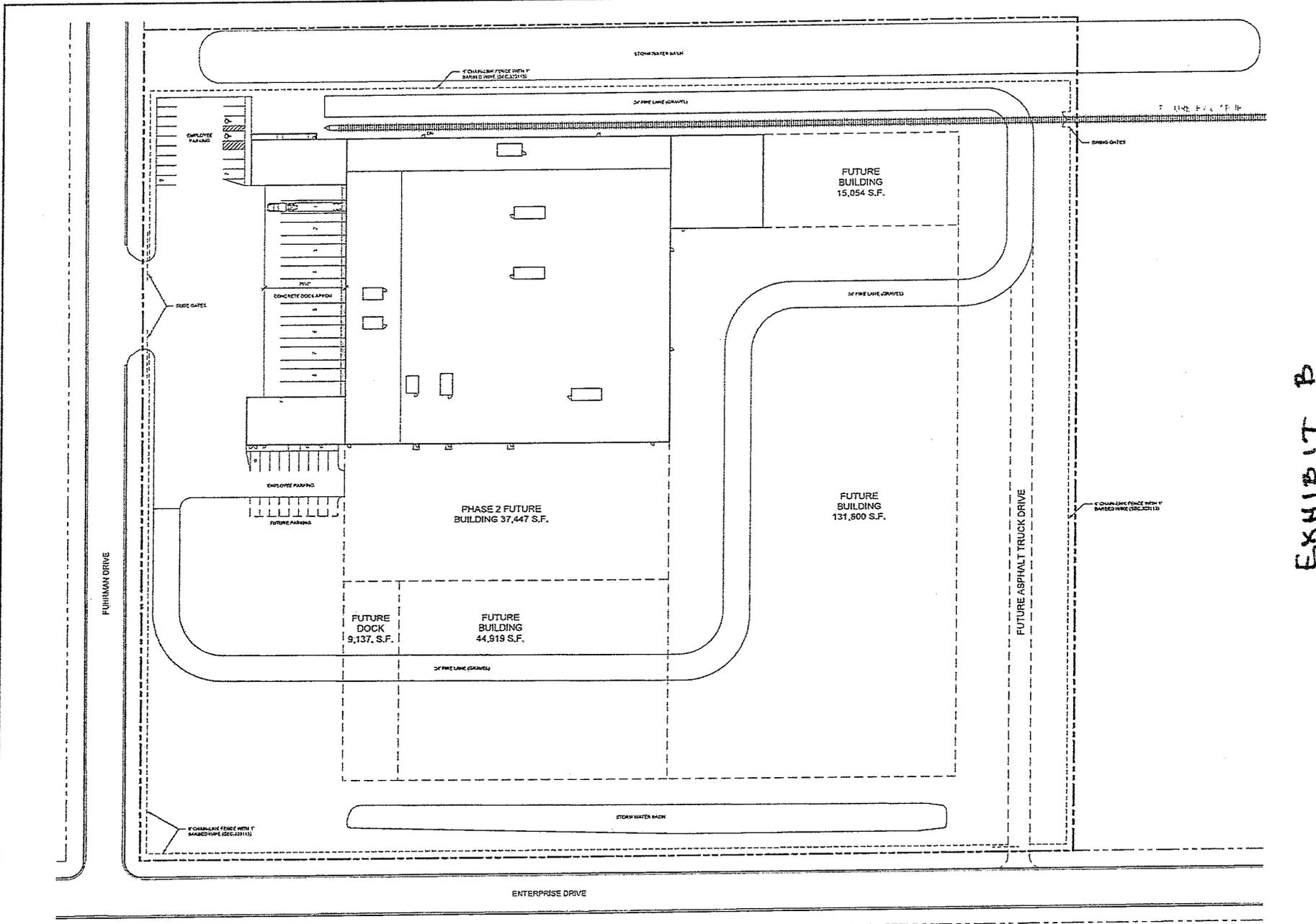
EXHIBIT A

**vierbicher**  
planners | engineers | advisors

REEDSBURG - MADISON - WAUWATOSH - WAUKESHA  
400 Young Drive, P.O. Box 204, Reedsburg, WI 53684  
Phone: (608) 224-4444 Fax: (608) 224-4444

2004 Watermark, Inc. 2004 Wisconsin Dept. of Transportation, Inc. 2004 Wisconsin Dept. of Transportation, Inc. 2004 Wisconsin Dept. of Transportation, Inc.

000017 10/27/14 C:\Users\jacob\Documents\101014\101014.dwg





**ARCHITECTURAL SITE PLAN**  
 1/8" = 1'-0"

**EXHIBIT B**



**DISTRIBUTION WAREHOUSE**  
**SHARRATT WAREHOUSING & DISTRIBUTION, LLC**  
 PO BOX 684  
 REEDSBURG, WI 53069

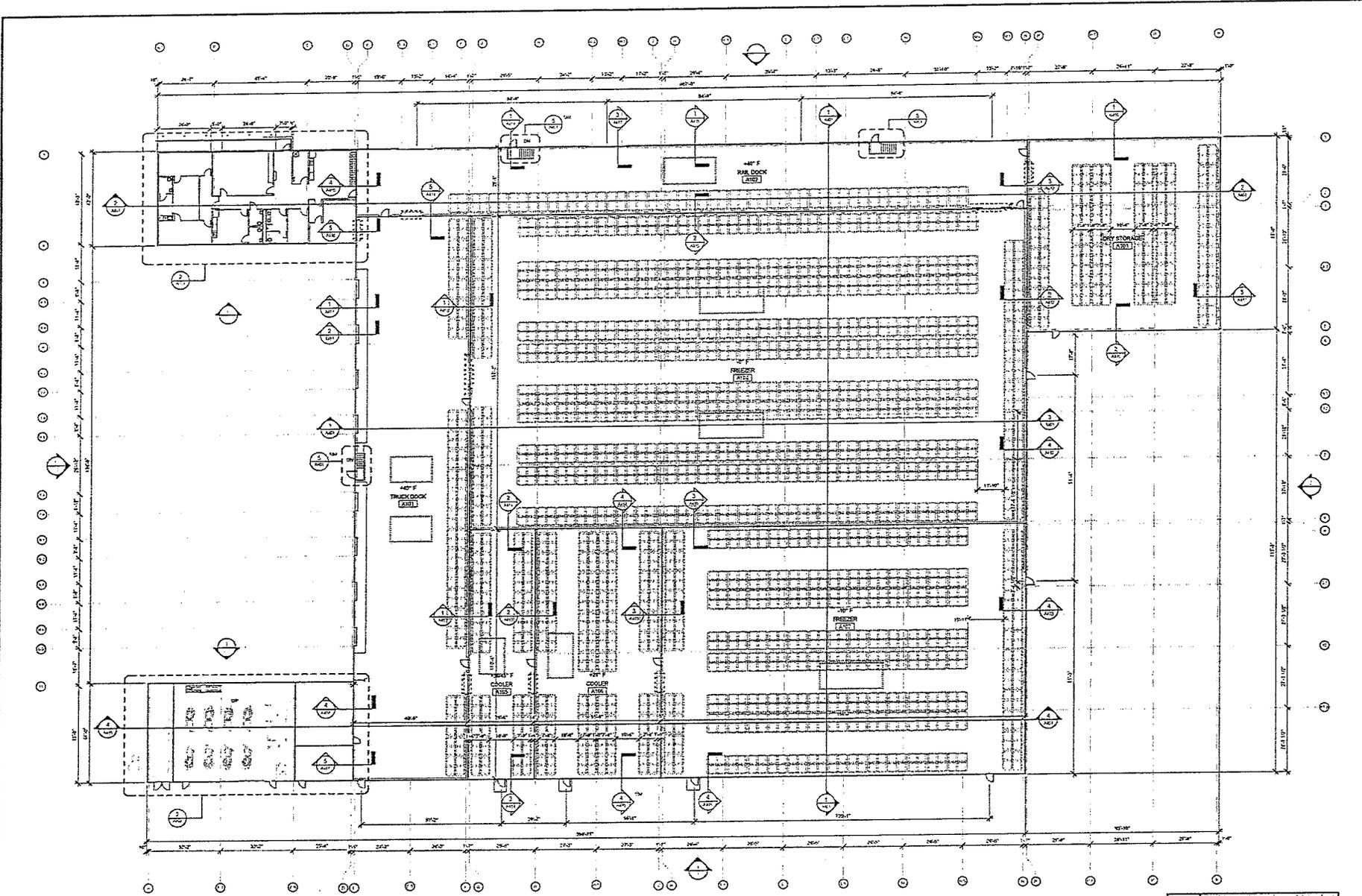
DATE	JOB NO.
05/02/2010	14-025-01
Drawn By: Author	Checked By: TPG

SHEET TITLE  
**ARCHITECTURAL SITE PLAN**

PRELIMINARY  
 SHEET NUMBER

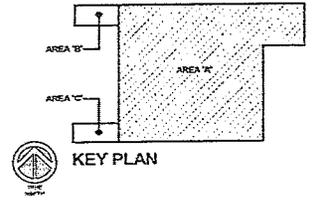
**A010**

ARCHITECTURAL



**FIRST FLOOR PLAN - OVERALL**  
 1/16" = 1'-0"

GROSS BUILDING SQUARE...	
SHEET FLOOR	57,400
CONCRETE BUILDINGS	27,250
<b>BUILDING TOTAL</b>	<b>84,650</b>



REVISIONS

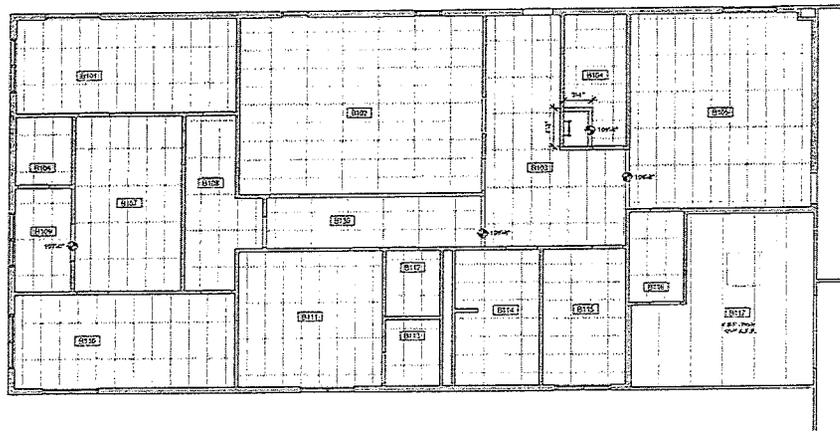
DATE	JOB NO.
02/02/2010	16-1205-01

SHEET TITLE  
**FIRST FLOOR PLAN - OVERALL**

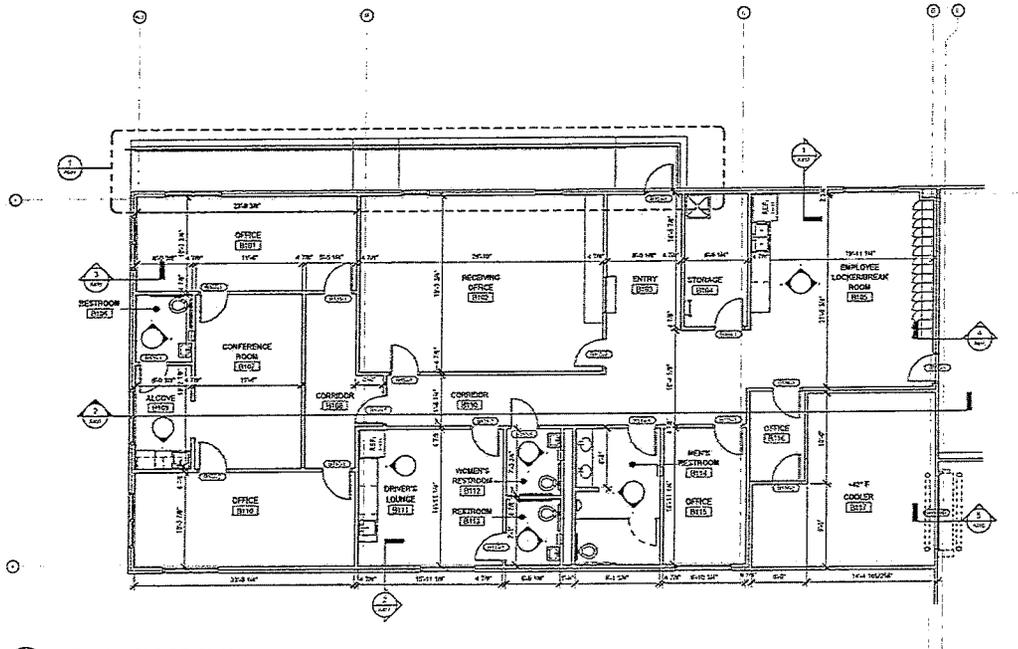
PRELIMINARY  
 SHEET NUMBER

**A101**

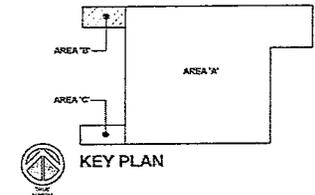
ARCHITECTURAL



1 AREA 'B' - REFLECTED CEILING PLAN  
A201 2/12/17 1'-0"



2 AREA 'B' - FLOOR PLAN  
A201 2/12/17 1'-0"



**ESI**  
ARCHITECTURAL  
11201 W. WISCONSIN AVENUE  
SUITE 200  
MILWAUKEE, WI 53227-1120

DISTRIBUTION WAREHOUSE  
SHARRATT WAREHOUSING &  
DISTRIBUTION, LLC  
PO BOX 684  
REEDSBURG, WI 53959

REVISIONS

DATE	JOB NO.
05/20/2018	16-125-01

SHEET TITLE  
AREA 'B' FLOOR PLAN

PRELIMINARY  
SHEET NUMBER

**A201**

ARCHITECTURAL

ESD:\Projects\16-125-01\16-125-01-01\16-125-01-01-01\16-125-01-01-01-01.dwg

REVISIONS

NO.	DATE	DESCRIPTION

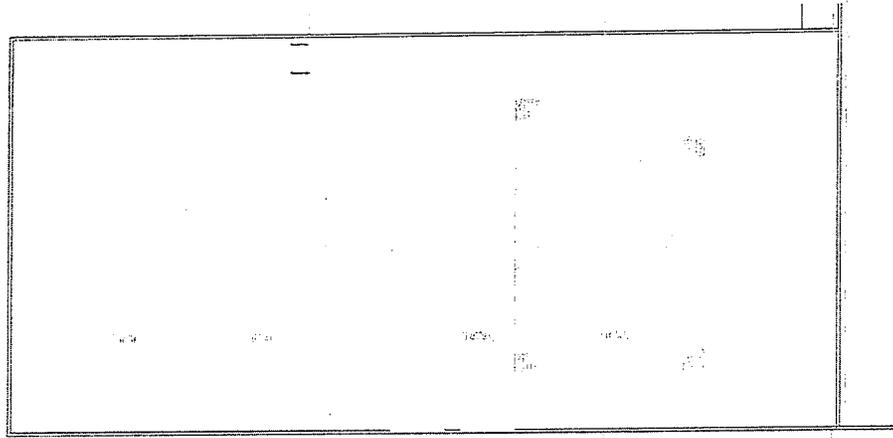
DATE	JOB NO.
02/02/2011	15-1205-01
DWG. BY	CHK. BY
JAB/DF	CH/DF

SHEET TITLE  
 AREA 'C' FLOOR PLANS

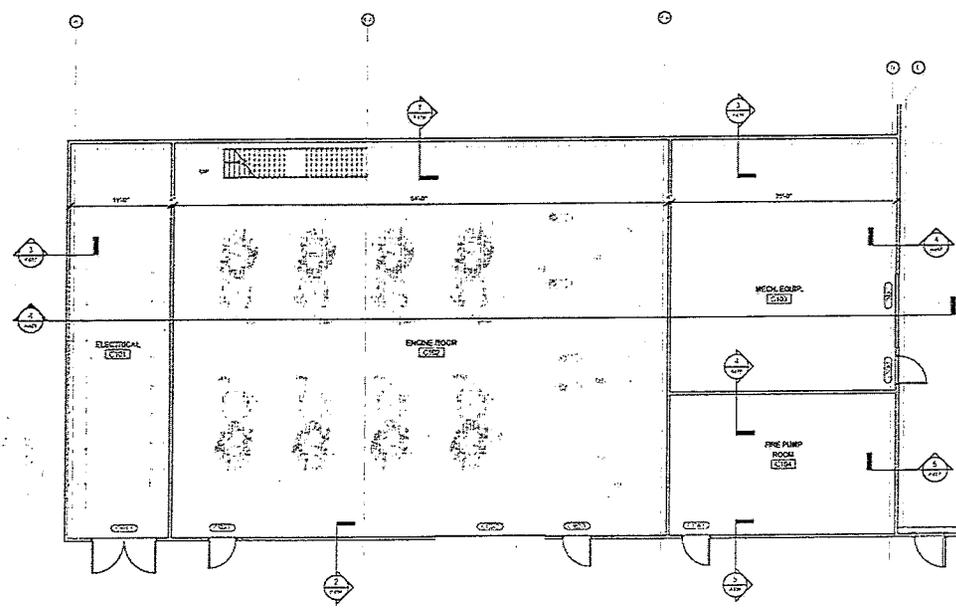
PRELIMINARY  
 SHEET NUMBER

**A202**

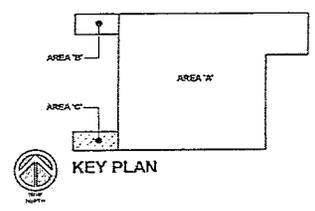
ARCHITECTURAL



**1** AREA 'C' - ROOF PLAN  
 A202 3/16" = 1'-0"



**2** AREA 'C' - FLOOR PLAN  
 A202 3/16" = 1'-0"





REVISIONS

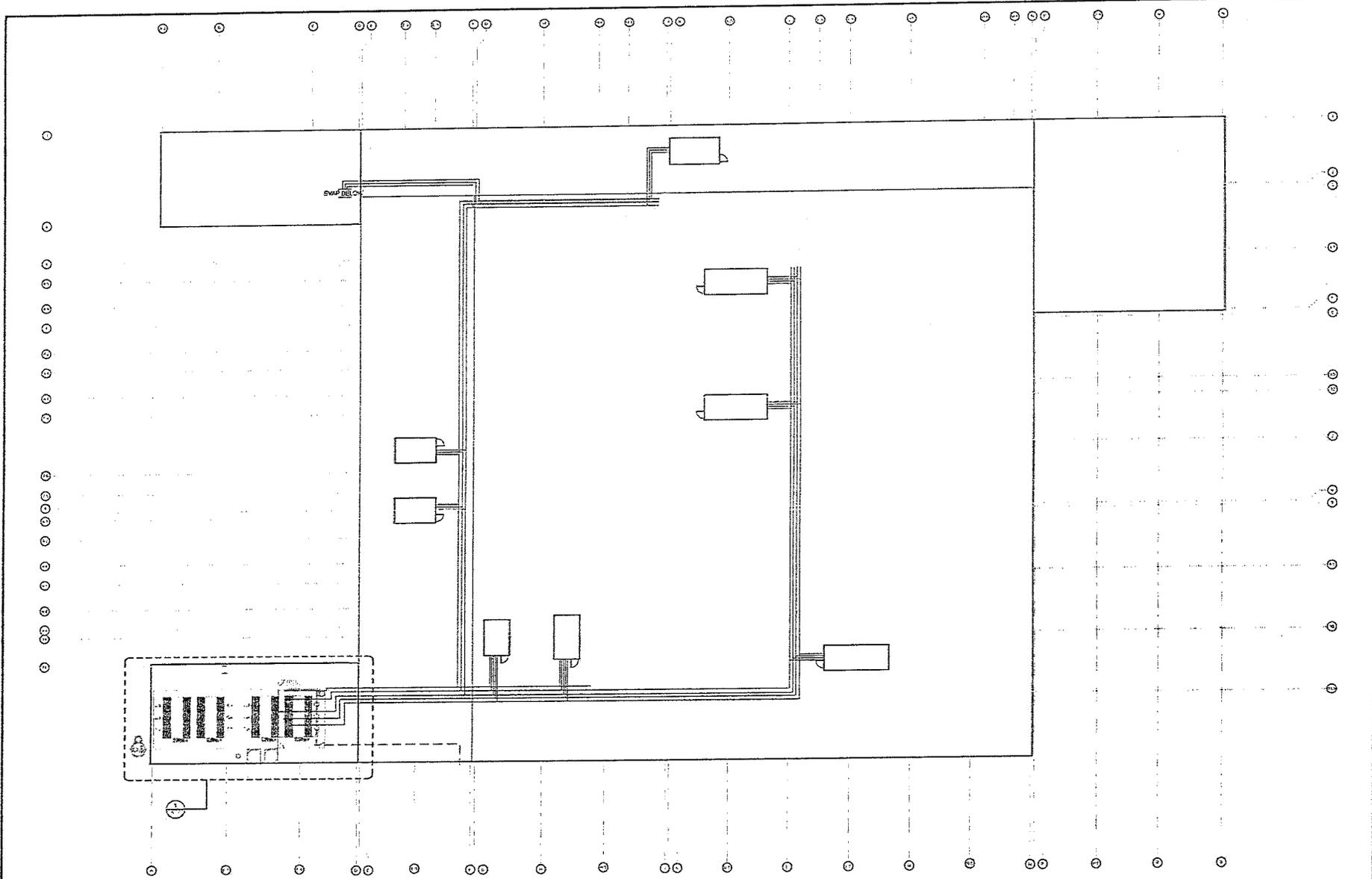
DATE	BY
08/26/2009	SA/SS/PT
NO. BY	CHKD BY
Altair	Cherif
	Cherif

SHEET TITLE  
ROOF PLAN -  
OVERALL

PRELIMINARY  
SHEET NUMBER

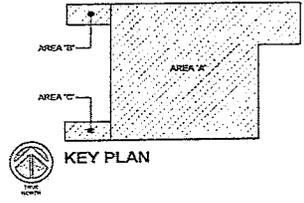
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ARCHITECTURAL



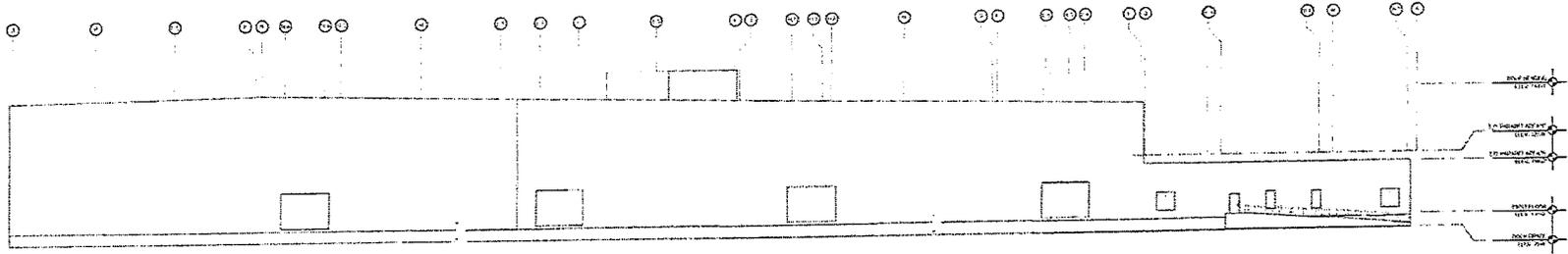
 **ROOF PLAN - OVERALL**  
1/16/10

ROOFING SCHEDULE			
<p><b>TYPICAL TYPE 'A' ROOF CONSTRUCTION</b></p> <ul style="list-style-type: none"> <li>MECHANICALLY FASTENED 1/4" MIN. THK WHITE ROOF MEMBRANE</li> <li>ALL LAYERS OF 2" POLYISOCYANURATE ROOF INSULATION TOTALING 4" OR 6" SHALL CONTAIN 10% STYRENE BEETWEEN LAYERS</li> <li>1/2" METAL ROOF DECK - SEE STRUCTURE DWG. FOR TYPE AND SPEC FOR FINISH</li> </ul>	<p><b>TYPICAL TYPE 'B' ROOF CONSTRUCTION</b></p> <ul style="list-style-type: none"> <li>MECHANICALLY FASTENED 1/4" MIN. THK WHITE ROOF MEMBRANE</li> <li>BLANKET OF 2" POLYISOCYANURATE ROOF INSULATION TOTALING 4" OR 6" - ALL JOINTS TO BE STAPLED BETWEEN LAYERS</li> <li>1/2" METAL ROOF DECK - SEE STRUCTURE DWG. FOR TYPE AND SPEC FOR FINISH</li> </ul>	<p><b>TYPICAL TYPE 'C' ROOF CONSTRUCTION</b></p> <ul style="list-style-type: none"> <li>MECHANICALLY FASTENED 1/4" MIN. THK WHITE ROOF MEMBRANE</li> <li>BLANKET OF 2" POLYISOCYANURATE ROOF INSULATION TOTALING 4" OR 6" - ALL JOINTS TO BE STAPLED BETWEEN LAYERS</li> <li>1/2" METAL ROOF DECK - SEE STRUCTURE DWG. FOR TYPE AND SPEC FOR FINISH</li> </ul>	<p><b>ROOF LEGEND</b></p> <ul style="list-style-type: none"> <li>VTR VENT THROUGH ROOF</li> <li>EF EXHAUST FAN</li> <li>SF SUPPLY FAN</li> <li>RD INTERNAL ROOF DRAIN</li> <li>ORD OVERFLOW ROOF DRAIN</li> <li>ZC DOWNSPOUT WITH SCUMPER</li> <li>HTU ROOF TOP UNIT - SEE HVAC DWGS.</li> <li>TWDE THROUGH WALL OVERFLOW SCUMPER</li> <li>RTUE ROOF TOP UNIT - HVAC EQUIPMENT</li> </ul>
<p><b>GENERAL ROOFING NOTES</b></p> <ul style="list-style-type: none"> <li>SEE ALL MECHANICAL UNITS AND ROOF PENETRATIONS AND DRAWING REFER TO MECHANICAL, REFRIGERATION AND ELECTRICAL DRAWINGS FOR ADDITIONAL ROOF PENETRATIONS</li> <li>SEE ELECTRICAL PLANS FOR LIGHTING PENETRATION REQUIREMENTS &amp; ROOF PENETRATIONS</li> <li>EIFS PENETRATION IS ALLOWABLE FOR DRAINAGE SADDLES</li> </ul>			

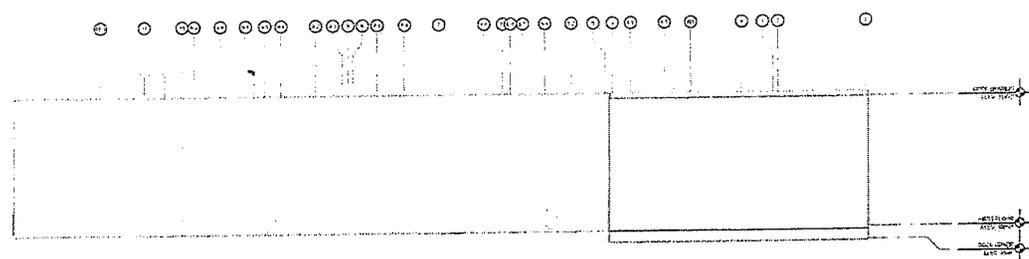




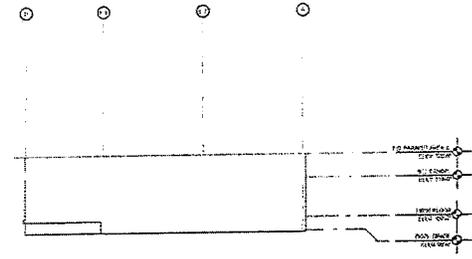
ES&S ARCHITECTURE INC. 1234 5TH AVENUE, SUITE 200, REEDSBURG, WI 53959



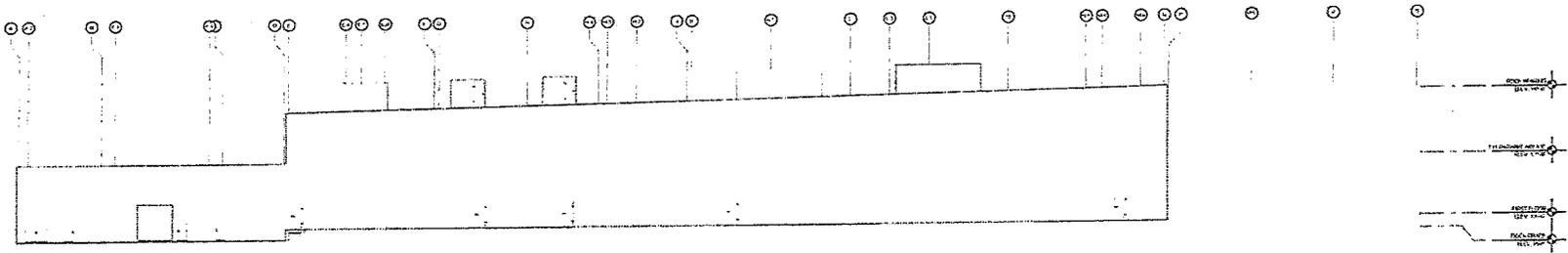
**1 NORTH ELEVATION**  
A.301 1/16" = 1'-0"



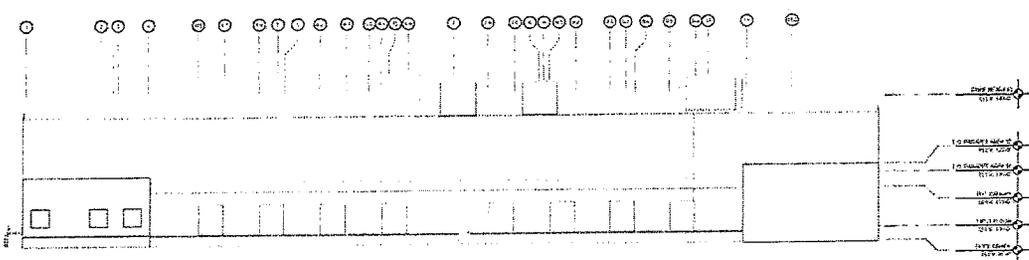
**2 EAST ELEVATION**  
A.301 1/16" = 1'-0"



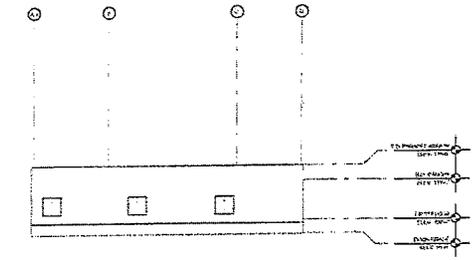
**3 SOUTH ELEVATION**  
A.301 1/16" = 1'-0"



**4 SOUTH ELEVATION**  
A.301 1/16" = 1'-0"



**5 WEST ELEVATION**  
A.301 1/16" = 1'-0"



**6 NORTH ELEVATION**  
A.301 1/16" = 1'-0"

DISTRIBUTION WAREHOUSE &  
SHARRATT WAREHOUSING &  
DISTRIBUTION, LLC  
PO BOX 684  
REEDSBURG, WI 53959

REVISIONS

NO.	DATE	BY	CHKD BY

DATE	JOB NO.
DRAWN BY	CHKD BY

SHEET TITLE  
**BUILDING ELEVATIONS - OVERALL**

PRELIMINARY  
SHEET NUMBER

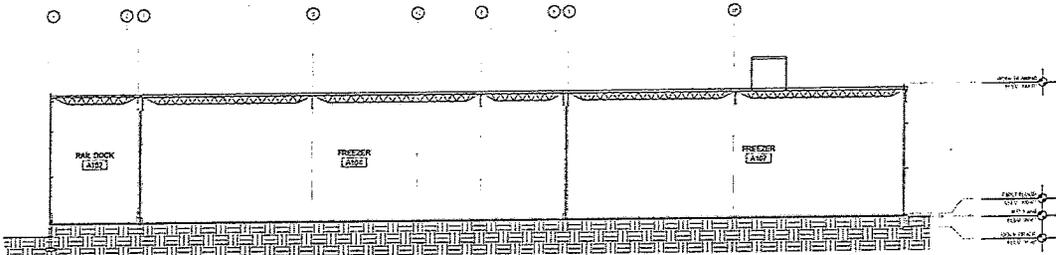
**A301**  
ARCHITECTURAL

REVISIONS

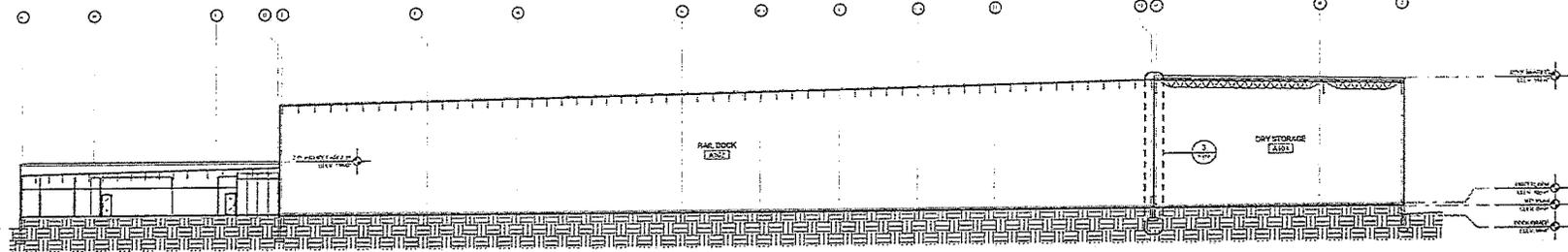
DATE	JOB NO.
06/20/2008	16-1205-01
DRAWN BY	CHECKED BY
Author	TRC
SHEET TITLE	
BUILDING SECTIONS	
PRELIMINARY	
SHEET NUMBER	

A401

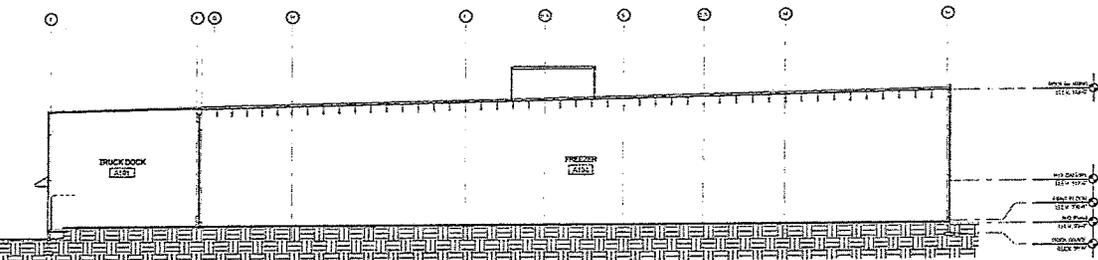
ARCHITECTURAL



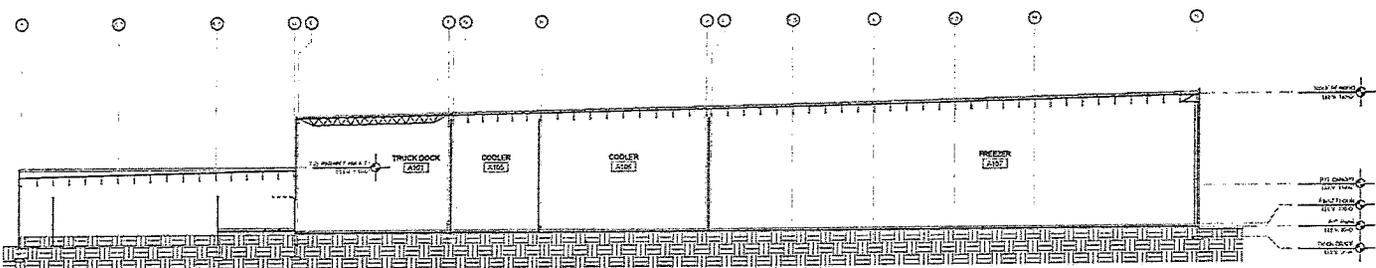
1 BUILDING SECTION  
1'-0" = 1'-0"



2 BUILDING SECTION  
1'-0" = 1'-0"



3 BUILDING SECTION 2  
1'-0" = 1'-0"



4 BUILDING SECTION 4  
1'-0" = 1'-0"

**Exhibit C - Tax Increment ProForma**  
**City of Reedsburg**  
**Option 1A: Sharratt Warehouse \$12.6 mm Value Increment + Personal Property**  
**8/8/2017**

Assumptions	
Base Value	Equalized
Tax Rate	0.02350 For County, Village, Technical College, and School District
Property Appreciation Rate	0.00% For Existing Construction
Annual Change In Tax Rate	0.00%
Construction Inflation Rate	0.00% For New Construction After 2017 & 2018

Year	Previous Valuation	Inflation Increment	TIF Increment		Total Valuation	Cumulative Increment	TIF Tax Rate*	TIF Revenue
			Construction	Pers Prop				
2016	\$0	\$0			\$0	\$0	0.02350	\$0
2017	\$0	\$0	\$4,000,000	\$0	\$4,000,000	\$4,000,000	0.02350	\$0
2018	\$4,000,000	\$0	\$8,600,000	\$800,000	\$13,400,000	\$13,400,000	0.02350	\$0
2019	\$13,400,000	\$0	\$0	(\$80,000)	\$13,320,000	\$13,320,000	0.02350	\$94,000
2020	\$13,320,000	\$0	\$0	(\$80,000)	\$13,240,000	\$13,240,000	0.02350	\$314,900
2021	\$13,240,000	\$0	\$0	(\$80,000)	\$13,160,000	\$13,160,000	0.02350	\$313,020
2022	\$13,160,000	\$0	\$0	(\$80,000)	\$13,080,000	\$13,080,000	0.02350	\$311,140
2023	\$13,080,000	\$0	\$0	(\$80,000)	\$13,000,000	\$13,000,000	0.02350	\$309,260
2024	\$13,000,000	\$0	\$0	(\$80,000)	\$12,920,000	\$12,920,000	0.02350	\$307,380
2025	\$12,920,000	\$0	\$0	(\$80,000)	\$12,840,000	\$12,840,000	0.02350	\$305,500
2026	\$12,840,000	\$0	\$0	(\$80,000)	\$12,760,000	\$12,760,000	0.02350	\$303,620
2027	\$12,760,000	\$0	\$0	(\$80,000)	\$12,680,000	\$12,680,000	0.02350	\$301,740
2028	\$12,680,000	\$0	\$0	(\$80,000)	\$12,600,000	\$12,600,000	0.02350	\$299,860
2029	\$12,600,000	\$0	\$0	\$0	\$12,600,000	\$12,600,000	0.02350	\$297,980
2030	\$12,600,000	\$0	\$0	\$0	\$12,600,000	\$12,600,000	0.02350	\$296,100
2031	\$12,600,000	\$0	\$0	\$0	\$12,600,000	\$12,600,000	0.02350	\$296,100
2032	\$12,600,000	\$0	\$0	\$0	\$12,600,000	\$12,600,000	0.02350	\$296,100
2033	\$12,600,000	\$0	\$0	\$0	\$12,600,000	\$12,600,000	0.02350	\$296,100
2034	\$12,600,000	\$0	\$0	\$0	\$12,600,000	\$12,600,000	0.02350	\$296,100
2035	\$12,600,000	\$0	\$0	\$0	\$12,600,000	\$12,600,000	0.02350	\$296,100
2036	\$16,000,000	\$0	\$0	\$0	\$16,000,000	\$16,000,000	0.02350	\$296,100
2037	\$12,600,000	\$0	\$0	\$0	\$12,600,000	\$12,600,000	0.02350	\$296,100
<b>Total</b>		\$0	\$12,600,000	\$0				\$5,527,200

**Exhibit D: Timetable**

<b>Milestone</b>	<b>Approximate Date</b>
<b>Entitlements</b>	
Plan Commission CSM Approval	9/12/2017
Plan Commission Site Plan Approval	9/12/2017
City Council Memorandum of Understanding Approval	9/12/2017
City Council CSM Approval	9/12/2017
City Council Land Sale / Transfer Approval	9/12/2017
City Engineer Stormwater Approval	9/25/2017
City Council Development Agreement Approval	9/25/2017
<b>Developer Project Implementation</b>	
Property Closing and Transfer	09/18/2017
Construction Start – Site Excavation & Prep	09/20/2017
Construction Start – Building	10/23/2017
Building Substantial Completion - Begin Operations	05/01/2018
Building Final Completion	07/01/2018
<b>City Project Implementation</b>	
Application of BCPL Loan	10/01/2017
Water Main Bid & Contract Approval	02/12/2018
Water Main Construction Start	03/15/2018
Water Main Construction Completion	05/01/2018